



**Governor's Office of
Storm Recovery**

ANDREW M. CUOMO
Governor

LISA BOVA-HIATT
Executive Director

**STATE ENVIRONMENTAL QUALITY REVIEW ACT
DETERMINATION OF NON-SIGNIFICANCE (NEGATIVE DECLARATION)**

NICHOLS JOINT FIRE STATION PROJECT

DATE: September 25, 2017

NAME OF ACTION: Nichols Joint Fire Station Project

LOCATION: 106 West River Road, Nichols, New York 13812

SEQRA CLASSIFICATION: ☐ Type I; ☒ Unlisted

REVIEW TYPE: ☒ Coordinated; ☐ Uncoordinated

DETERMINATION OF SIGNIFICANCE: ☒ Negative Declaration; ☐ Positive Declaration

The Proposed Project:

GOSR is managing the U.S. Department of Housing and Urban Development (HUD) Community Development Block Grant – Disaster Recovery (CDBG-DR) program pursuant to the Disaster Relief Appropriations Act of 2013 (Public Law 113-2, approved January 29, 2013). The NYS Housing Trust Fund Corporation (HTFC), which administers the CDBG-DR program funds on behalf of GOSR, intends to approve funding from the CDBG-DR Community Reconstruction and Infrastructure Program Fund for improvements and enlargement of the existing Nichols Volunteer Fire Department to function as the Village and Town of Nichols Joint Fire Department. The proposed project is located on a 0.5-acre parcel at the Nichols Volunteer Fire Department, at 106 West River Road, Nichols, New York.

The proposed project is comprised of several component upgrades and improvements required for the firehouse to meet federal- and county-recommended standards as a functional emergency operations center for the Village and Town of Nichols, New York. All emergency vehicles and equipment will be stored at the renovated fire house. These upgrades and improvements include approximately 4,256 square feet of additional space to the existing firehouse. The addition and upgrades include a training room, community hall (multi-purpose area), mechanical room, gear room with washer and dryer, communications room, locker area, kitchen, bathrooms, three offices, multiple storage areas, eight truck bays, stairs to a mezzanine and a mezzanine; approximately 24 parking spaces; and a septic system (See attached Site Plans). The new mezzanine will include three offices and storage space. Two of the six new bathrooms will be equipped with showers. The attached plans show the proposed building layout which is subject to change during the finalization and public review of the plans and permitting processes. The project would be constructed on the existing Nichols Volunteer Fire Department property. The proposed plans include an approximately 9,000 square feet asphalt driveway and parking area. No land acquisition is anticipated. No fuel storage is proposed and a new septic system will be installed in accordance with local and state requirements. The facility is served by existing electric, public water and storm drainage system and a propane backup generator.

The proposed construction will include a steel framed building with energy conservation with 2016 New York State supplements. The final total square footage will be approximately 8,282 square feet. The septic system

will include a 1,500-gallon concrete tank with 750-gallon grease trap and will be constructed in accordance with local and state septic system requirements and permitting conditions. The initial draft septic plans are shown on sheets C1 and C2 of attached plans. All storm water will be directed to storm existing sewers. Electronics and equipment will be elevated.

The eight truck bays will be used for the storage of 6 fire trucks including a ladder truck. The trucks will be backed into the truck bay. One of the bays will be used to store an emergency boat and trailer. The fire station has access to public water.

No new employees or additional traffic is anticipated in response to the fire house addition and upgrade. Traffic will more efficiently move and out of the fire station with the increased size.

The proposed improvements include:

- Minor earthwork
- Potential utility relocation
- Foundation construction and installation
- Ingress/egress to site to include onsite parking
- Onsite drainage improvements

Other improvements incorporate mechanical, electrical, and plumbing upgrades. Mechanical improvements to the interior environment of the firehouse include the installation of an energy efficient roof-mounted air conditioning system. Gas fired unit heaters, a roof mounted exhaust fan at the generator room, and a new roof mounted exhaust fan for toilet rooms for the addition also would be provided. In addition to new plumbing fixtures, the Project would provide an oil separator for floor drains in the garage; furnish an instantaneous gas-fired, direct-vent hot water heater; and modify the existing water service to be used only for filling of tanker trucks

Removal of existing building components would be required in order to make the proposed changes.

Additional site work would include grading the new parking area, installing concrete sidewalks and curbs, and adding topsoil and seeding disturbed areas to establish a lawn.

The Susquehanna River is located approximately 750 feet north the Project site. The Project site is located over the Clinton Street Ballpark Sole Source Aquifer.

The Town of Nichols will provide water and the facility will have an upgraded septic system. Electric power and natural gas will be provided by New York State Electric and Gas (NYSEG).

Purpose and Need:

Hurricane Irene and Tropical Storm Lee inundated the Village of Nichols with storm water in 2011 and deposited large amounts of debris into the Susquehanna River. The extreme rains associated with Hurricane Irene and Tropical Storm Lee caused the groundwater to rise and flooding the village. This put fire, emergency rescue and medical and other emergency services at risk and negatively impacted the command center equipment that keeps the Town and Village connected to the Tioga County Emergency Management Office. This project provides for the expansion to the existing joint fire station building to serve the Town and Village of Nichols. The project will expand the facility to house modern emergency response vehicles and provide meeting, storage and office space. The project will also improve public safety and first responder/firefighter capability during storm events.

The existing building is located within the Village of Nichols' levee system, which currently has provisional accreditation; however, the Village of Nichols is currently working to obtain full and permanent accreditation, thereby protecting the existing Joint Fire Station from potential flooding. The Village has an accepted CDBG-

DR application to complete a levee study and improvements to identify and correct deficiencies in the levee and obtain USACE levee certification and FEMA levee accreditation. The levee study and design improvements for certification and accreditation have been completed and the accreditation has been submitted to FEMA.

The Joint Fire Station will mitigate against perils in the midst of or aftermath of a disaster or storm event by allowing continuity of emergency services, coordination with the Tioga County Emergency Management Office and protection of emergency and rescue equipment. This project will contribute to the Village of Nichols' recovery from the storm event and help protect them in the years ahead.

The current fire station does not have the capacity to store modern sized fire trucks and there are no training rooms or community room for village or town to hold emergency responder training, meetings or provide emergency shelter. The new training room will provide trainers access to the fire department equipment used in training required for emergency responders. The kitchen will provide food services to emergency responders and a temporary resource during emergency sheltering. The community room will be multi-purpose and will be used as a temporary shelter during emergencies and potentially as food staging. The fire station is currently equipped with a backup generator which will provide energy supply to the station during power outages.

The project beneficiaries include the Village and Town of Nichols, New York. The Village anticipates the benefit of the project will be an improvement to public safety and first responder effectiveness, improvement in firefighter response to storm events, increased protection of high-value communications equipment and improving Nichols' ability to serve vulnerable populations requiring rescue and assistance during floods. The Joint Fire Station Project is articulated in the 2014 Tioga County NY Rising Community Reconstruction Plan (NYRCR). The implementation of this project is feasible within the CDBG-DR funds available to the Village of Nichols for recovery through the NYRCR program. The Village's officials and residents fully support the proposed project.

Existing Conditions:

The Town of Nichols is a rural community located in the Southern Tier Region of New York State. The Town, established in 1824, encompasses approximately 34 square miles and shares its entire northern border with the Susquehanna River and its southern border with Bradford County, Pennsylvania. The Town is easily accessible by the Southern Tier Expressway (NYS 17/I- 86), Main Street (NYS Route 282), and East and West River Roads. Major employers in the Town of Nichols are the Best Buy Warehouse/Distribution Center and Tioga Downs Casino, Racing and Entertainment (Tioga Downs). Other key employment includes the agriculture and gravel mining industries.

The Town has experienced a relatively stable population during the past decade, which has helped to preserve the small-town feel of the community. In 2010, the U.S. Census reported the population of the Town of Nichols as 2,525 residents. This represents a 59-person decrease from the 2,584-person population reported in 2000. The median age of community residents was 41.6 years, slightly less than the 42.6 years of age reported for the County. The 2010 census also reported the Town population as predominately white (96.2%), the median household income as \$47,009 (slightly less than the County figure of \$53,789 and the NYS reported figure of \$56,951), and that approximately 81.6% of the Town's housing units were owner occupied and the remaining 18.4% were rentals.

While the population is somewhat stable and the household income is slightly less than Tioga County, it is important to preserve the existing community structure and to enhance the economy. A stable or increasing population and increased wealth will ensure long-term sustainability.

The Town of Nichols is currently guiding its local land use decisions based on the following plans and local land use laws: Town of Nichols Zoning Ordinance, Flood Damage Prevention Local Law, and the 2011 Nichols Agriculture and Farmland Protection Plan. In 2006, the Town completed the Greater Nichols 2020

Plan (a comprehensive plan). Although a document was completed, the Town Board still has not officially adopted the 2020 Plan.

The Town of Nichols contains the Village of Nichols. The village is a hamlet of about 512 inhabitants located half way between the east and west lines of the Town of Nichols on the Susquehanna River at the mouth of Wappasening creek. The village is 0.5 square miles. The Southern Tier Expressway and New York State Route 282 pass through the village. As of the census there were 213 households and 152 families residing in the village. The population density was 1,123.9 people per square mile.

The Village of Nichols, which is approximately a quarter square mile area, is located in the heart of the Town and serves as the community's "Downtown", providing restaurants, a hardware store, banks, a general store, and other similar uses. It is protected by a levee system that was constructed in 1972 by the U.S. Army Corps of Engineers (USACE). The Village is surrounded to the west, south, and east by forested and agricultural land. It is also home to Kirby Park, a popular recreation area located along the west bank of the Wappasening Creek. The Village of Nichols has an adopted Comprehensive Plan.

Funding:

The total Project cost is estimated at \$1,155,000. GOSR proposes to allocate funding pursuant to the U.S. Department of Housing and Urban Development (HUD) Community Development Block Grant-Disaster Recovery (CDBG-DR) program as authorized by the Disaster Relief Appropriations Act of 2013 (Public Law 113-2, approved January 29, 2013). The NYS Housing Trust Fund Corporation (HTFC), which administers the CDBG-DR program funds on behalf of GOSR, intends to approve funding to the Village of Nichols for the proposed Project as described in this negative declaration.

Environmental Considerations:

The proposed Project site is located outside of the 100-year floodplain and the Village and Town of Nichols experienced flooding during Tropical Storm Lee. The Susquehanna River and Wappasening Creek overflowed their banks during Tropical Storm Lee. As a result, emergency response services were hampered during and after the storms. The Project would contribute to the quality of life for the Village and Town residents by providing enhanced emergency response services during severe weather events, which is essential to the health, safety, and welfare of the residents.

Land Use, Zoning, Public Policy and Urban Design – The proposed Project is consistent with existing zoning regulations, land use types, building height and scale. The Project would maintain current land use and would therefore be compatible with existing land use. The Project site would continue to be zoned as a mix of A (Agricultural), B (Business), I (Industrial), and R (Residential). The proposed Project falls under the 2014 Tioga County NY Rising Community Reconstruction Plan (NYRCR), which notes that constructing a new facility that will be constructed using flood-resistant materials and where possible, will incorporate green technology to increase energy efficiency. The structure will house emergency vehicles on the ground floor, and essential communication equipment and offices on the second floor. The structure will include eight bays (two trucks deep to accommodate the ladder truck), a kitchen/pantry, dining room, two bathrooms, conference room, office space for the Fire Chief and Fire Commissioner, a fire proof file room, storage room for supplies, gear storage, and a water rescue supply room. The proposed Project would not result in the creation of new jobs and/or an increase in the number of employees and would therefore not have an urbanizing effect.

Soil Suitability, Slope, Erosion, Drainage, and Storm Water Runoff – The Project site is relatively flat, with less than 5 percent slope, and is in a semi-developed setting. The site will require grading and compaction for the site improvements, including building foundations, stormwater features, and paved parking areas. The Project would not result in impacts to slope or create a source of erosion on or off the site. The addition would connect to the existing water, sewer, and storm drain utilities. Redevelopment of the Project site would The Project site is relatively flat, with less than 5 percent slope, and is in a semi-developed setting (See Appendix H, Topographic Map). The site will require grading and compaction for the site improvements, including

building foundations, stormwater features, and paved parking areas. The Project would not result in impacts to slope or create a source of erosion on or off the site. The addition would connect to the existing water, sewer, and storm drain utilities. Redevelopment of the Project site would not create stormwater runoff that would adversely affect drainage systems. The soil (Tioga silt loam) is not limited for construction purposes. According to the USDA soil survey, Tioga silt loam have a low concrete corrosion, high potential soil-induced electrochemical or chemical action that corrodes or weakens steel and a high potential for corrosion of uncoated steel. They are poorly suited to mechanical surface preparation but are only somewhat limited for gravel and paved roads. A State Pollutant Discharge Elimination System (SPDES) General Stormwater Permit would not be required because the amount of ground disturbance at the site would be less than 1 acre. The increase in impervious surface on the site would be the approximately 4,500-square feet.

Hazards and Nuisances, including Site Safety and Noise –

Air

The proposed Project will not adversely affect air quality. The proposed Project is not located in a designated non-attainment area for air quality and the proposed activities will not affect transportation patterns or levels of service thereby aiding the preservation of local air quality. Standard BMPs will be implemented during construction to control dust and other emissions. No significant impacts on air quality will result due to the proposed Project.

Solid Waste

The Project site has been previously disturbed with parking and an operational fire station. Based on interview with town officials, no hazardous or solid waste storage is evident on the site other than normal trash was daily operations and maintenance. The Project would not expose new populations to hazardous or nuisances because no new populations would reside on the Project site.

Hazardous Waste Sites

A search of the New York State Department of Environmental Conservation (NYSDEC) Bulk Storage Program Database identified inactive, active and closed petroleum bulk storage facilities within 1 mile of the Project site. One facility was identified and has no violations and therefore, does not pose a threat to the project location.

A search of the NYSDEC Remedial Site Database that contains records of the sites being addressed under one of DER's remedial programs (State Superfund, Brownfield Cleanup, Environmental Restoration and Voluntary Cleanup, the Registry of Inactive Hazardous Waste Disposal Sites, and Institutional and Engineering Controls), identified one State Superfund Program hazardous waste sites near the project location. The site, South Main Street Dry Cleaning, used the solvent tetrachloroethylene (PCE) in a dry-cleaning machine housed in a small laundromat located at 37 South Main Street in the middle of the Village of Nichols. After it was used, the spent PCE went into an on-site dry well located behind the laundromat. The PCE eventually leaked into the groundwater beneath the. The maximum concentration of PCE found during the sampling was 220 parts per billion (ppb). PCE levels of 3.5 ppb and 1.0 ppb were detected in two nearby residential drinking water wells respectively. In June of 2000 groundwater analysis showed that the PCE contaminant levels in the plume diminished to levels below groundwater standards for PCE in all but one location which is at 18 ppb. A "No Further Action" ROD was signed in March, 2002, recommending decommissioning of the monitoring wells and that the site be de-listed from the Registry. The groundwater plume does not pose a threat to the project location because of the low concentrations of PCE detected in groundwater. NYSDEC database states, "There are no remaining environmental problems associated with the disposal of hazardous waste at this site."

EPA's NEPAAssist mapping tool did not identify any EPA-regulated facilities within 1 mile of the Project site.

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EPA's NEPAassist mapping tool did not identify any EPA-regulated facilities within 1 mile of the Project site.

Asbestos and Lead-Based Paint

The Fire Station was constructed before 1978. Because of the age of the building an asbestos and lead-based paint survey will be conducted before demolition and renovation activities. In accordance with 12 NYCRR 56, no renovation/demolition work will be commenced by any owner or agent prior to completion of asbestos abatement performed by a licensed asbestos abatement contractor **if** asbestos is found in the building. Any surface coated with paint is considered to contain some percentage of lead, based on the age of the building. Any alteration and/or repair, including painting and decorating shall meet the requirements of the Occupational Safety and Health Administration (OSHA) Construction Lead Standard (29 CFR 1926.62). Contractors will be alerted to the fact that the paint coating on surfaces in this Project is likely to contain lead, and contractors of each trade will be required to submit their written lead program prior to the start of work. The plan must identify potential sources of lead exposure and propose specific procedures to protect workers from those exposures.

Radon

According to the EPA, the Project site is in Radon Zone 1, where the predicted average indoor radon screening level is greater than 4 picoCuries per liter (pCi/L), the highest potential for elevated indoor radon levels. A vapor barrier will be installed to prevent radon gas from entering the new portions of the building and radon survey will be completed to determine interior radon levels. If radon is detected at or above 4 pCi/L, a radon mitigation system will be installed.

Noise

Some noise may be generated during construction; however, this will be temporary and will not adversely impact the surrounding areas. The proposed activities will not significantly increase the level of noise or vibration compared to current conditions. In addition, no blasting will be required.

Energy Consumption – The proposed Project will not cause an increase in the use of energy as the improvements will include energy efficient utilities. The improved facility would use more modern and energy-saving building materials and practices. Some energy savings may be realized. No impacts would occur to existing nearby suppliers.

Socioeconomic Impacts and Community Facilities and Services – The proposed Project would create temporary construction jobs. However, these jobs would not significantly increase employment opportunities

or impact income patterns. The proposed Project would not result in the creation of new permanent jobs and/or result in an increase in the number of employees in the Village or Town of Nichols and therefore would not impact employment and income patterns or alter the demographic characteristics of the surrounding community.

In addition, the Project would not increase the demand for educational, health care or social service facilities, nor would it directly or indirectly displace people, businesses, institutions, or community facilities as it would occur within existing undeveloped parcel owned by the Village or Town of Nichols.

The Project site does not contain a structure that is listed on either the State or National Register of Historic Places (NRHP). Consultation with the NY State Historic Preservation Office (SHPO) confirms that the proposed Project would not affect listed state or NRHP sites or districts.

In addition, a consultation request for the proposed Project was sent to Tribal Historic Preservation Office for the Cayuga Nation of New York and Onondaga Nation, and the Seneca-Cayuga Nation. No response from the three Tribes has been received to date.

Site development include approximately 4,256 square feet of additional space to the existing firehouse and excavation depths to up to an estimated depth of 4 to 6 feet below ground surface and approximately 9,000 square feet of asphalt will be added for parking and driveway. These construction activities would result in the generation of waste. The amount of solid waste generated from the construction would not significantly increase short-term generation of municipal solid waste. All Project-generated solid waste materials must be managed and transported in accordance with the state's solid and hazardous waste rules.

No expansion of the sanitary sewer system would be required. Wastewater and sewage generated by the proposed Project will be accommodated by through an onsite septic system.

No changes to the public/public water systems are anticipated. The water supply for the fire station will be from the United Water which serves the Village and Town of Nichols. The Project will not place additional demand on a public water system because demand at the existing facility also served by United Water.

The proposed Project would not result in the creation of new jobs and/or result in an increase in the number of employees in the Village and Town of Nichols and therefore would not increase demand for police protection, fire protection, or emergency medical services. The proposed new facility would be constructed in compliance with local building codes. The Project is expected to ensure that the critical emergency facilities are relocated outside of the floodplain which increase response efficiency as well is being better equipped and is expected to have a beneficial impact on public safety.

The proposed Project would not impact open space or recreation because the existing facilities will be expanded on the current location of the fire station.

The proposed Project would not impact transportation. There would be a negligible and temporary increase in construction traffic.

Natural Features – The Project site is not located within a state listed Critical Environmental Area (CEA).

There are no NYSDEC mapped wetlands or U.S. Army Corps. of Engineers (USACE) wetlands within the immediate vicinity of the Project site.

The Project site is within an EPA regulated Sole Source Aquifer (SSA), the Clinton Street Ballpark SSA. Consultation with the EPA stated that the Project satisfies the requirements of Section 1424(e) of the Safe Drinking Water Act.

The Project site is not within the 100-year or 500-year floodplain. In addition, the proposed Project will not result in an increase in the potential for erosion, flooding or drainage problems. The proposed actions will not create additional stormwater runoff that would adversely affect the existing of drainage systems. There will be an increase in impervious surface on the Project site of approximately 9,000 square feet.

The NY Natural Heritage Program (NYNHP) has no records of any rare or state-listed species in the Project area. The US Fish and Wildlife Service (USFWS) IPaC data shows that the Northern Long-eared Bat (NLEB) (*Myotis septentrionalis*), federal-listed as threatened and several species of migratory birds may occur within

the boundary of and/or may be affected by the Project. GOSR completed an analysis of effects and determined that this project may affect the NLEB, but that any resulting incidental take of the NLEB is not prohibited by the final 4(d) rule determined and that the project would have no effect on migratory birds. The analysis was provided to the USFWS.

The soils at the Project site are identified as Prime Farmland soils; however, they are not within a New York state agricultural district. The Project site has been disturbed and is used as a parking area. The Project falls under the Farmland Protection Policy Act small acreage exemption of 3 acres or less because the area of disturbance is limited to no more than 2 acres.

The proposed Project is classified as an Unlisted action, and GOSR, as the lead agency, prepared a Short Environmental Assessment Form (SEAF) under SEQRA. The current fire station does not have the capacity to store modern sized fire trucks and there is no training rooms or community room for village or town to hold emergency responder training, meetings or provide emergency shelter. The new training room will provide trainers access to the fire department equipment used in training required for emergency responders. The kitchen will provide food services to emergency responders and a temporary resource during emergency sheltering. The community room will be multi-purpose and will be used as a temporary shelter during emergencies and potentially as food staging. The fire station is currently equipped with a backup generator which will provide energy supply to the station during power outages.

The proposed Project would include the following measures to avoid or reduce environmental effects:

- Implementation of standard best management practices (BMP) would control dust and other emissions during construction.

Standard Requirements:

Any change to the proposed Project as described will require re-evaluation by GOSR's Certifying Officer for compliance with SEQRA and other law, regulations and policies.

This review does not address all federal, state and local requirements. Acceptance of federal funding requires recipient to comply with all federal, state and local laws. Failure to obtain all appropriate federal, state and local environmental permits and clearances may jeopardize federal funding.

Additional Mitigation Measures:

To the extent practicable, the following mitigation measures recommended by the United States Environmental Protection Agency would be implemented by the Responsible Entity to minimize environmental impacts and create a more sustainable Project:

- Construction and demolition – utilize local and recycled materials in the construction process and to recycle materials generated onsite to the maximum extent possible
- Clean diesel – implement diesel controls, cleaner fuel, and cleaner construction practices for on-road and off-road equipment used for transportation, soil movement, or other construction activities, including:
 - Strategies and technologies that reduce unnecessary idling, including auxiliary power units, the use of electric equipment, and strict enforcement of idling limits; and
 - Use of clean diesel through add-on control technologies like diesel particulate filters and diesel oxidation catalysts, repowers, or newer, cleaner equipment.
- Stormwater – utilize low impact development (LID) principles such as minimizing imperviousness to create site drainage, and the planting of native and non-invasive vegetation on the Project site for stormwater management purposes. Other LID practices can include bioretention facilities, rain gardens, vegetated rooftops, rain barrels, and permeable pavements;
- Cost-efficient, environmentally friendly landscaping – EPA's GreenScapes program provides cost-efficient and environmentally friendly solutions for landscaping;

Nichols Joint Fire Station Project – Negative Declaration

- Energy efficiency – energy-efficient technologies should be incorporated into the firehouse when possible; and
- Water conservation and efficiency – promote water conservation and efficiency through the use of water efficient products and practices.
 - The use of products with the WaterSense label where appropriate.

In addition to the factors considered above, the GOSR considered the following guidance from the State Environmental Quality Review Act and its implementing regulations and determined that the Proposed Action would:

- i. Not result in “a substantial adverse change in existing air quality, ground or surface water quality or quantity, traffic or noise levels; a substantial increase in solid waste production; a substantial increase in potential for erosion, flooding, leaching or drainage problems;” (§617.7(c)(1)(i))
- ii. Not result in “the removal or destruction of large quantities of vegetation or fauna; substantial interference with the movement of any resident or migratory fish or wildlife species; impacts on a significant habitat area; or other significant adverse impacts to natural resources;” (§617.7(c)(1)(iii))
- iii. Not result in “the creation of a material conflict with a community’s current plans or goals as officially approved or adopted;” (§617.7(c)(1)(iv))
- iv. Not result in “the creation of a hazard to human health;” (§617.7(c)(1)(vii))
- v. Not result in “a substantial change in the use, or intensity of use, of land including agricultural, open space or recreational resources, or in its capacity to support existing uses;” (§617.7(c)(1)(viii))
- vi. Not result in “the encouraging or attracting of a large number of people to a place or places for more than a few days, compared to the number of people who would come to such place absent the action;” (§617.7(c)(1)(ix))
- vii. Not result in “the creation of a material demand for other actions that would result in one of the above consequences;” (§617.7(c)(1)(x))
- viii. Not result in “changes in two or more elements of the environment, no one of which has a significant impact on the environment, but when considered together result in a substantial adverse impact on the environment; or (§617.7(c)(1)(xi))

Therefore, GOSR, acting as Lead Agency, and having prepared a Short Environmental Assessment Form (SEAF), has determined that the proposed action will not have a significant effect on the environment and a Draft Environmental Impact Statement will not need to be prepared.



Lori A. Shirley

Date: September 25, 2017

Director, Bureau of Environmental Review and Assessment

Governor’s Office of Storm Recovery

New York State Homes & Community Renewal

38-40 State Street, Albany, NY 12207

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Attachments:

Short Environmental Assessment Form

Site Location Figure

Site Plan

Negative Declaration Distribution List

A copy of this Notice is available at the following web address:

<http://www.stormrecovery.ny.gov/environmental-docs>

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

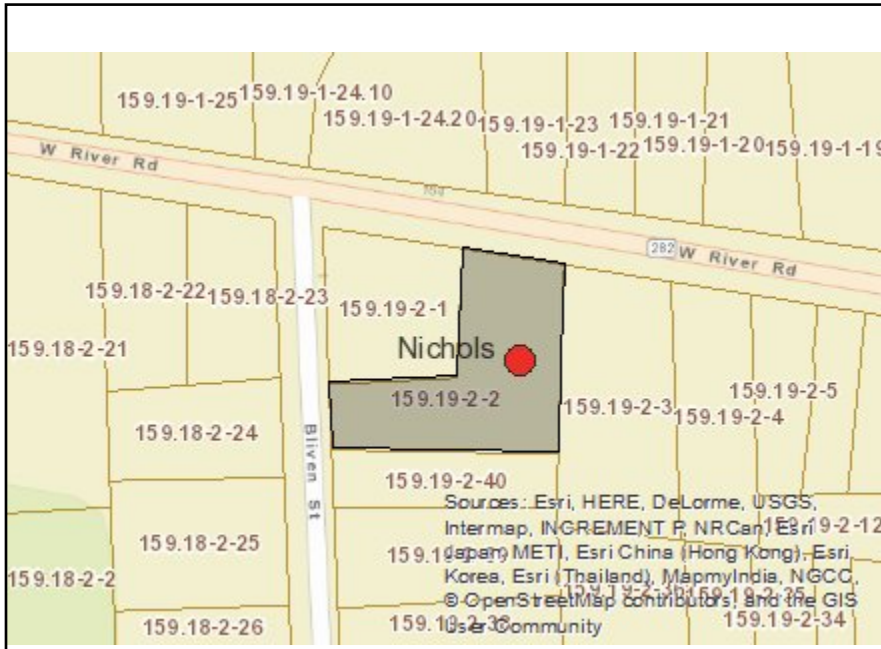
Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
Name of Applicant or Sponsor:		Telephone:	
		E-Mail:	
Address:			
City/PO:		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO
			YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO
			YES
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ _____	NO	YES	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
16. Is the project site located in the 100 year flood plain?	NO	YES	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input type="checkbox"/> YES _____ _____	NO	YES	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
A nearby closed dry cleaners released trichloroethylene (TCE) to groundwater. NYSDEC completed a groundwater investigation and came to a no further action required conclusion. Concentration of TCE in groundwater low.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>LESLEY PELOTTE</u>	Date: <u>8/23/2017</u>	
Signature: <u>Lesley Pelotte</u>		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



The information contained may be incorrect, incomplete or outdated, and New York State disclaims any responsibility for the accuracy or correctness of the information. New York State, its officers, employees, or agents shall not be liable for damages or losses of any kind, consequential or otherwise, incurred as a result of the use of this information, directly or indirectly. In using this information, users further agree to indemnify, defend, and hold harmless New York State for any and all liability of any nature arising out of or resulting from the lack of accuracy or correctness of the information, or the use of the information. New York State reserves the right to make changes and updates to the information at any time and without notice. For internal use only

Nichols Joint Fire Station Project

Topo Map

0 0.05 0.1 0.2 Miles

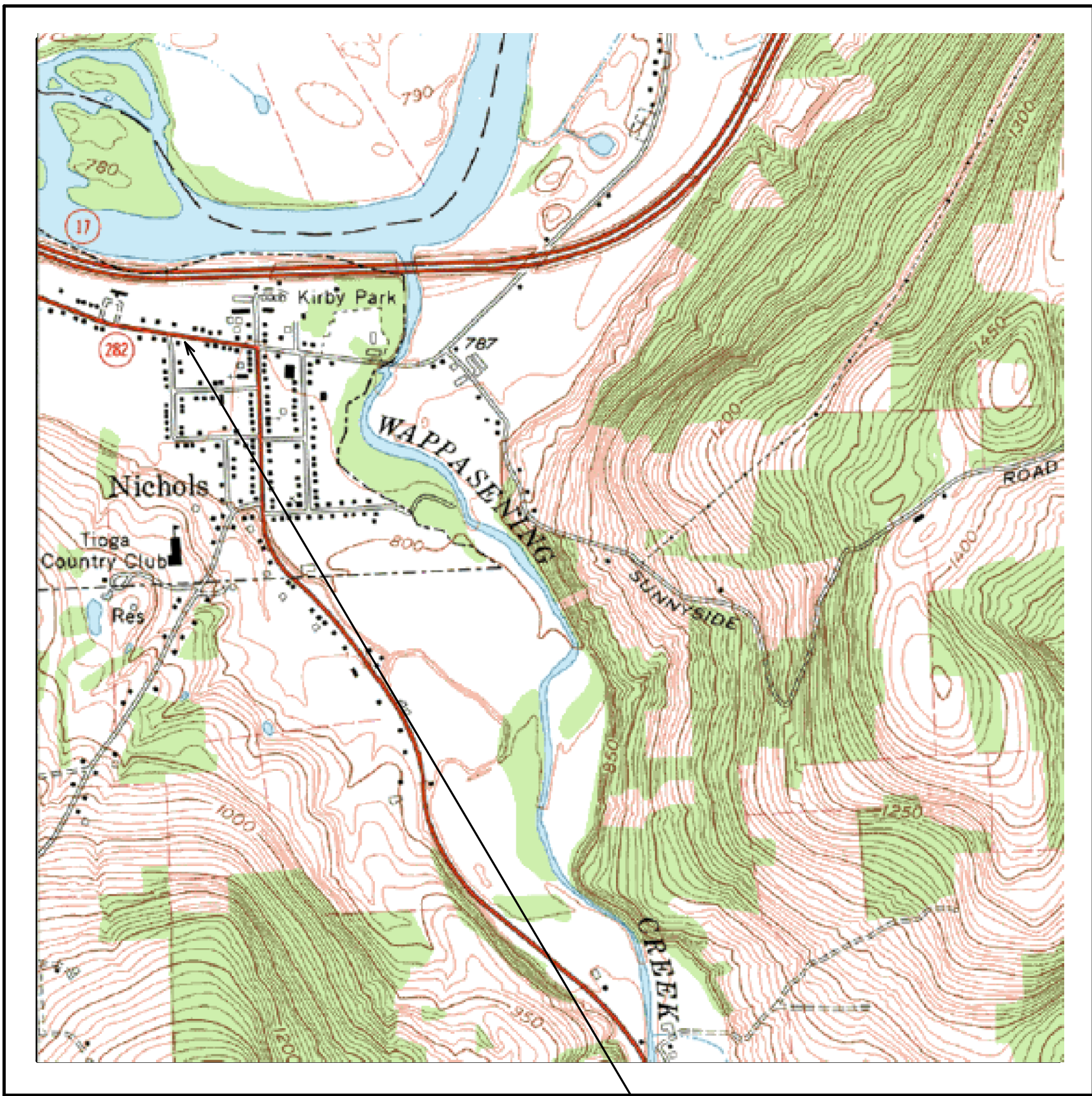
Sources of Data: USFWS, FEMA, ESRI, State of NY

Governor's Office of Storm Recovery
 Drawn By: R.Ferres
 Version: 1.1
 Date: 08/18/2017

NICHOLS JOINT FIRE DISTRICT

106 W. RIVER ROAD., VILLAGE OF NICHOLS,
TIOGA COUNTY, NEW YORK

LOCATION MAP



106 W. RIVER ROAD,
VILLAGE OF NICHOLS
TIOGA COUNTY, NEW YORK

DESIGN NOTES

DESIGN OCCUPANCY: FIRE TRUCK BAYS (STORAGE S-1)
KITCHEN, RESTROOMS, TRAINING ROOM,
(BUSINESS A-3)

PROPOSED BUILDING CONSTRUCTION TYPE: STEEL FRAMED TYPE 2b

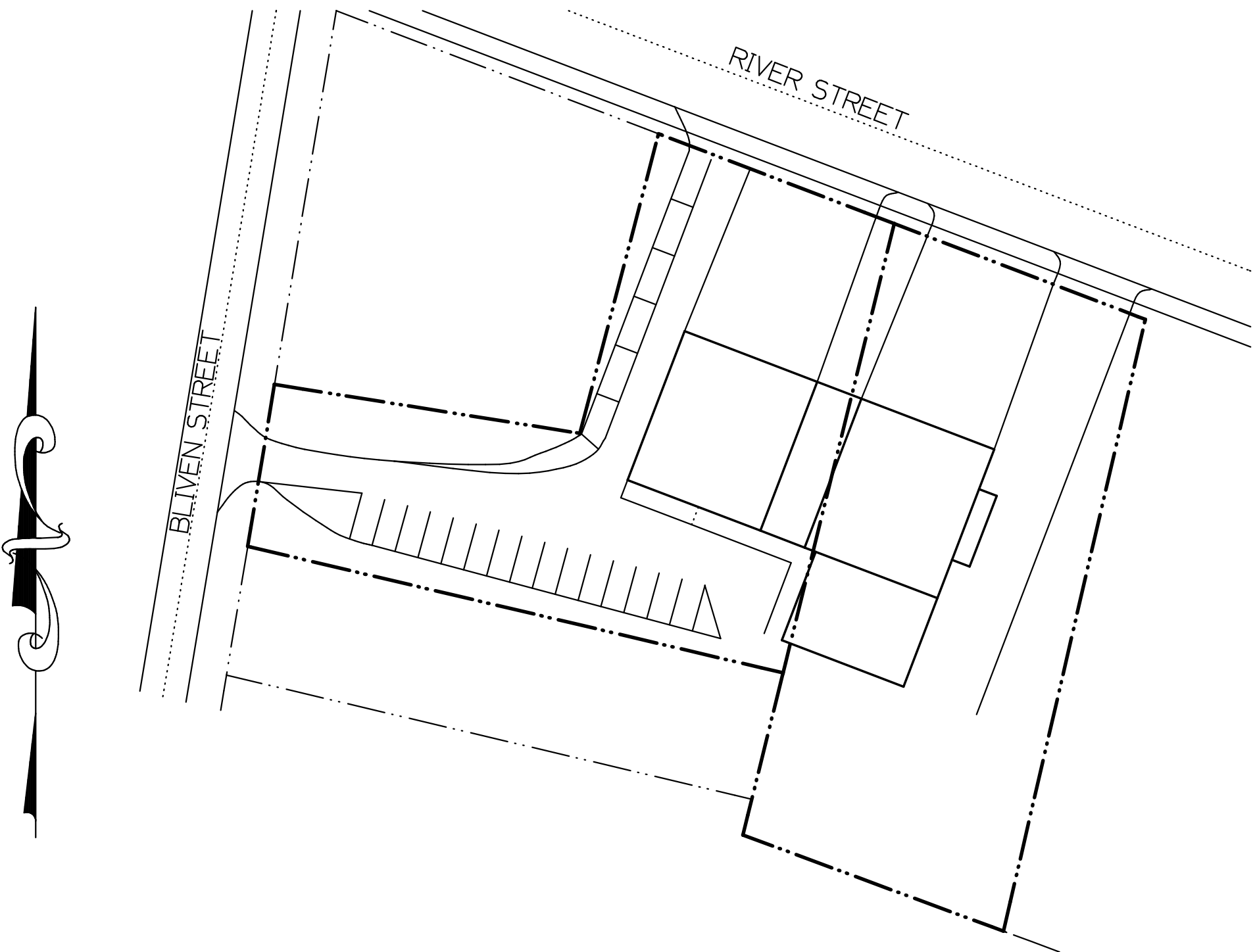
PROPOSED BUILDING AREA: 8,282 SQ. FT. - 4,593 SQ. FT. (A-3 OCCUPANCY)
- 3,689 SQ. FT. (S-1 OCCUPANCY)

BASIC DESIGN CODE: 2015 INTERNATIONAL BUILDING CODE AND
ENERGY CONSERVATION CODE WITH
2016 NEW YORK STATE SUPPLEMENTS

ENERGY CONSERVATION CODE COMPLIANCE: PRESCRIPTIVE METHOD

DESIGN CRITERIA

ROOF LOAD						SOIL BEARING	SEISMIC
LIVE LOAD	GROUND SNOW LOAD	ROOF SNOW LOAD	EXPOSURE (Ce)	IMPORTANT. (Is)	THERMAL FACTOR (Ct)	ALLOWABLE (psf)	DESIGN CATEGORY
20	50	42	0.90	1.2	1.10	2,000	A
FLOOR LIVE LOAD (psf)						WIND	
CORRIDOR, TRAINING, OFFICE, OTHER ASSEMBLY				TRUCK BAY	SPEED (mph)	IMPORT. (Iw)	WIND PRESSURE
100				100	90	1.15	C
							21 psf



SHEET INDEX

SHEET DESCRIPTION

T1	TITLE SHEET
C1	SITE PLAN
C2	SEPTIC PLAN
C3	SEPTIC DETAILS 1
A1	1ST FLOOR/MEZZANINE PLANS
A2	FOUNDATION PLAN
A3	FOUNDATION DETAILS
A4	BUILDING SECTIONS
A5	BUILDING SECTIONS
A6	FIRE-RATED WALL SECTIONS
A7	ELEVATIONS
A8	ACCESSIBILITY DETAILS 1
A9	ACCESSIBILITY DETAILS 2
W1	FINISH/MATERIALS PLAN
K1	KITCHEN EQUIPMENT PLAN
K2	KITCHEN ELEVATIONS
E1	ELEC./LIGHTING PLAN
E2	REFLECTED CEILING PLAN
F1	LIFE SAFETY PLAN
M1	EXHAUST REMOVAL PLAN
P1	PLUMBING WASTE PLAN
P2	WATER SUPPLY PLAN
P3	FIXTURE LOCATION PLAN

GENERAL NOTES

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DRAWING BEARING A LICENSED ENGINEER'S SEAL
IS A VIOLATION OF NYS EDUCATION LAW 145,
SECTION 7209, SUBDIVISION 2.

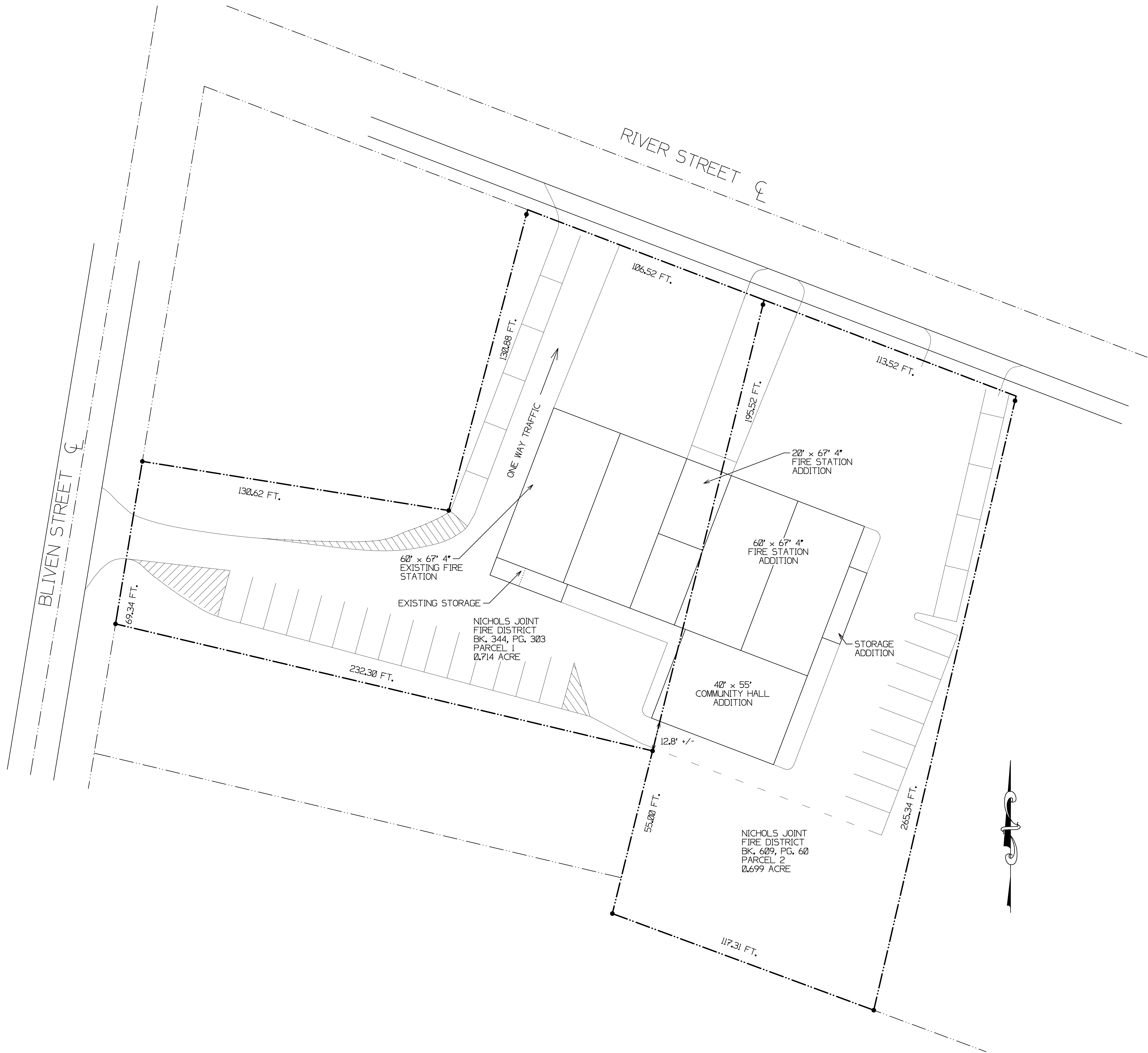
2. THIS DRAWING AND DESIGN ARE THE
PROPERTY OF McILWAIN ENGINEERING.
THE STAMP AND/OR SIGNATURE MUST
CONTRAST IN COLOR FROM THE DRAWING
FOR THIS TO BE AN OFFICIAL DESIGN.

3. PLOTTING AND REPRODUCTION
PROCESSES DO NOT ALWAYS
MAINTAIN DIMENSIONAL ACCURACY.
DO NOT ATTEMPT TO SCALE DIMENSIONS
FROM THIS DRAWING.

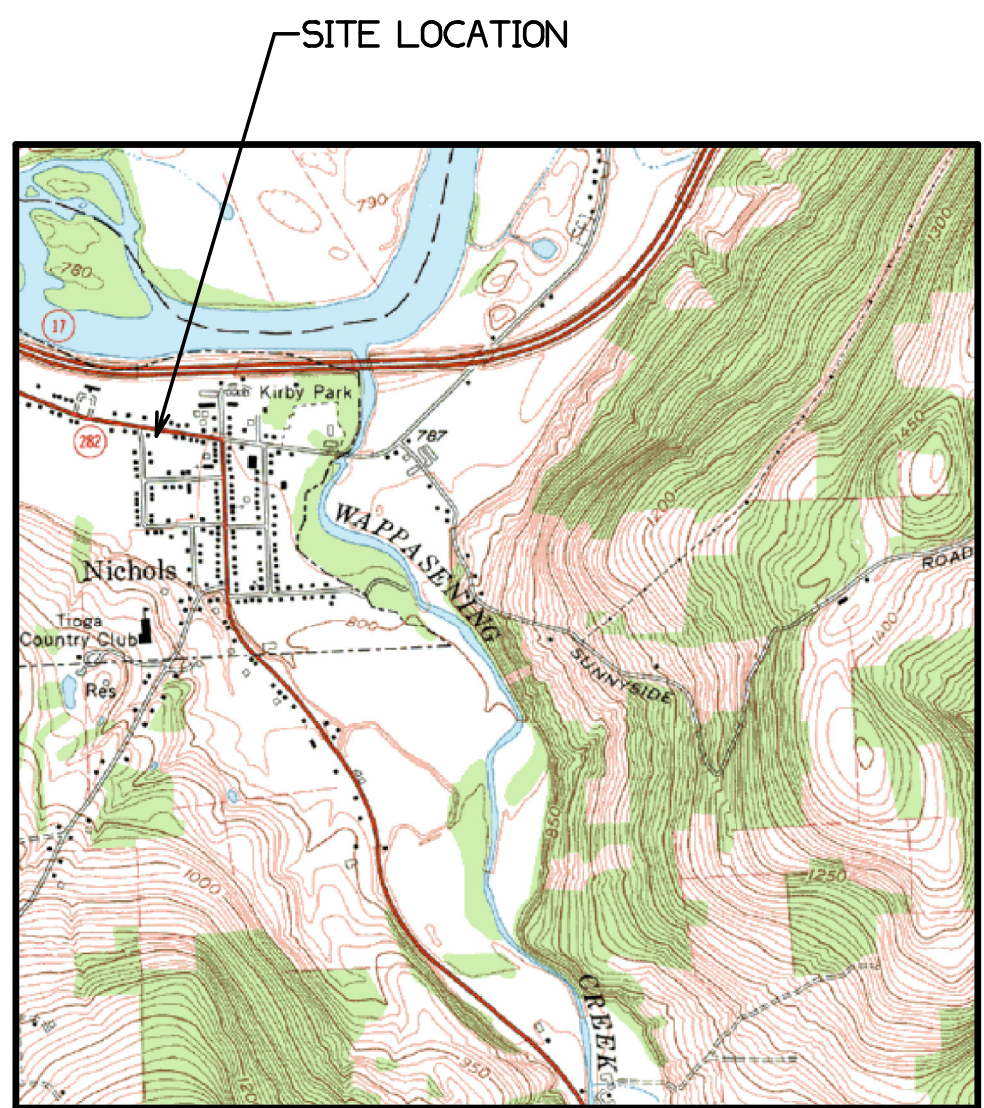
FIRE STATION ADDITION AND RENOVATION
NICHOLS JOINT FIRE DISTRICT
106 W. RIVER ROAD, VILLAGE OF NICHOLS
TIOGA COUNTY, NEW YORK

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Engineering
PO BOX 127, 5 PARK STREET
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TITLE	PAGE	REV	DATE
DWG NO. 16025	1	MS	07 JUL 17
SCALE	3/16" = 1' 0"	DATE	07 JUL 17
DRAWN BY	MS	SHEET	T1



PRELIMINARY DRAWING
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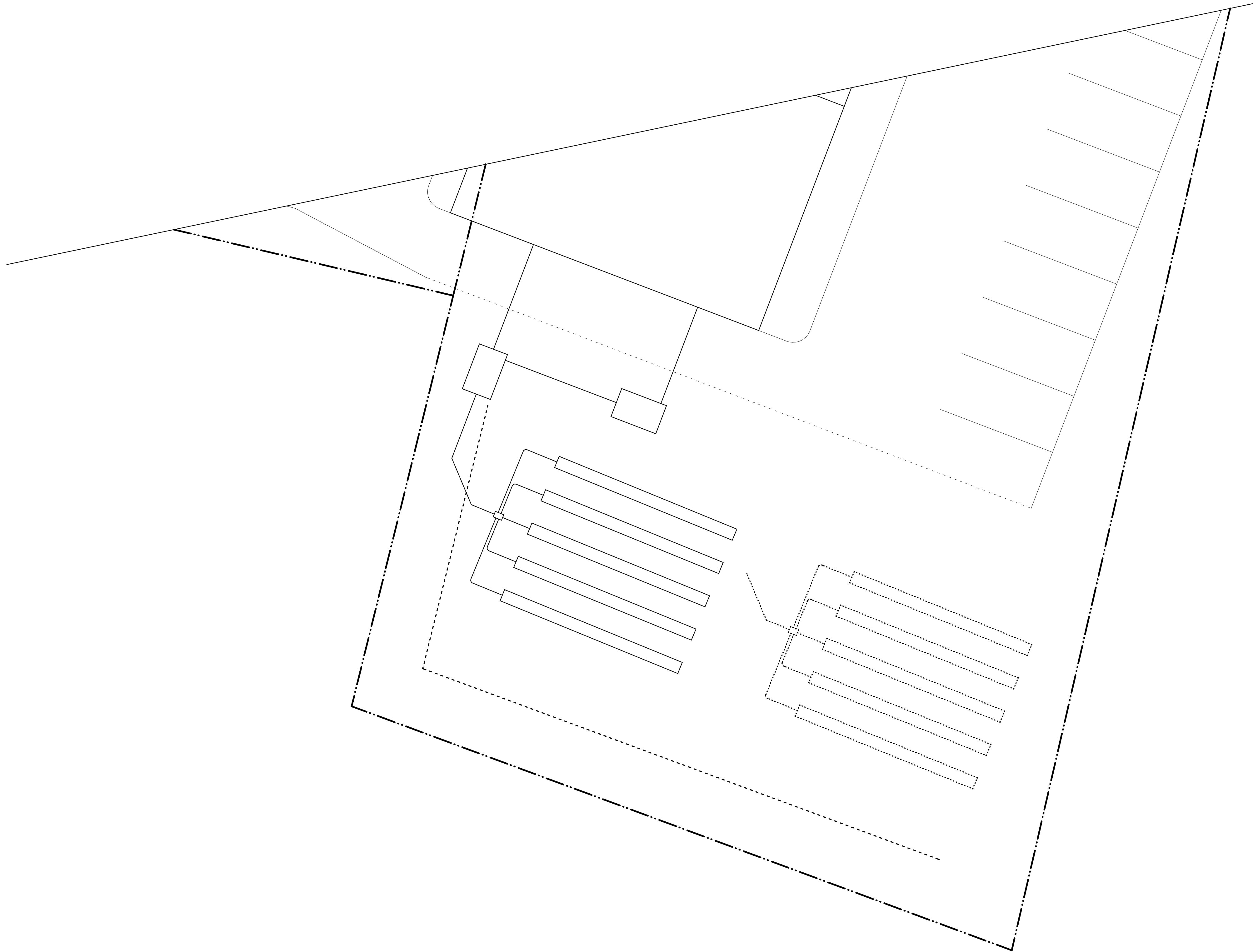


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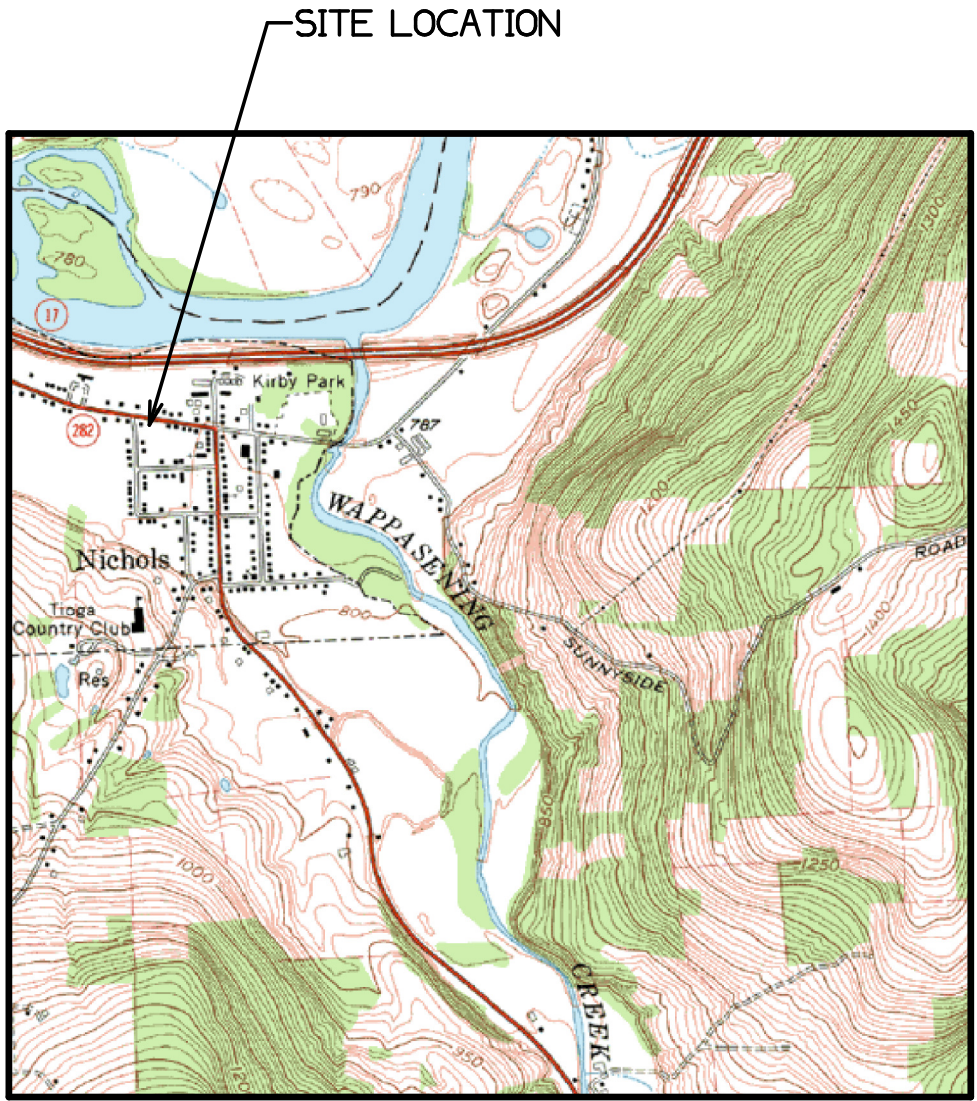
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FIRE STATION ADDITION AND RENOVATION
NICHOLS JOINT FIRE DISTRICT
106 W. RIVER ROAD, VILLAGE OF NICHOLS
TIOGA COUNTY, NEW YORK

SITE PLAN	
DWG NO. 16025	REV/DATE
SCALE 1" = 20'	DRAWN BY MS
DATE 07 JUL 17	SHEET C1



PRELIMINARY DRAWING
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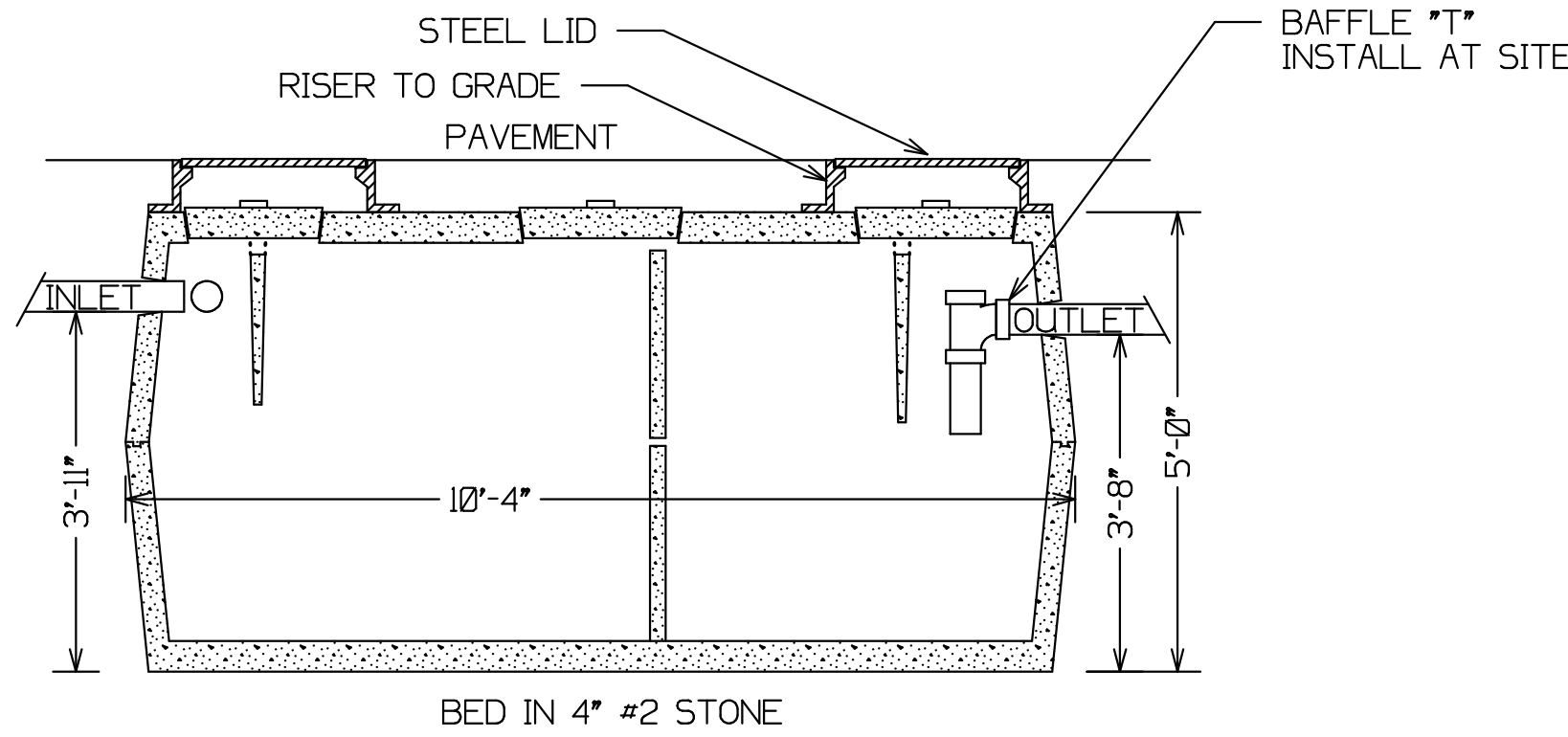
- NOTES:
1. THE LOT LINES, DIMENSIONS, AND ANGLES FOR THIS DRAWING ARE TAKEN FROM A MAP DRAWN BY A LICENSED SURVEYOR. THIS DRAWING IS TO BE USED ONLY FOR DEPICTION OF SEPTIC AND ABSORPTION TRENCH LOCATIONS.
 2. DIMENSIONS FOR COMPONENT PLACEMENT ARE SHOWN PRIOR TO INSTALLATION. CHANGES OCCURRING DURING CONSTRUCTION WILL BE RECORDED.
 3. THERE ARE NO WELLS ON ADJACENT LOTS WITHIN 100 FT OF THIS SEPTIC SYSTEM.
 4. ALL PIPES, LEADS, AND TRANSMISSION LINES TO BE 4" DIA SCHEDULE 40 PVC OR BETTER, NO ANGLES TO EXCEED 45°. SEWER PIPE SLOPE TO BE 1/4" PER FT MINIMUM. EFFLUENT PIPE SLOPE TO BE 1/8" PER FT MINIMUM.
 5. SEPTIC TANK TO BE 1250 GAL DOUBLE SECTION CONCRETE TANK RATED FOR TRAFFIC LOAD.
 6. USE INFILTRATOR EQUALIZER 24 OR 36 ABSORPTION CHAMBER (OR EQUAL) FOR THE LATERAL. CHAMBERS TO BE LEVEL.
 7. MINIMUM SEPARATION DISTANCES:
BUILDING TO SEPTIC TANK, 10 FT
BUILDING TO ABSORPTION TRENCHES, 20 FT
ANY SEPTIC COMPONENT TO LOT LINE . . . 10 FT
 8. SLOPE IS NOT SHOWN. THE LOT IS FLAT.
 9. TRENCH LATERAL AREA BASED ON 500 GPD HYDRAULIC LOAD. SEE SHEET 2 FOR LENGTH CALCULATIONS
 10. APPROXIMATELY 4" OF TOP SOIL COVERING A GRAVEL SOIL TO 6 FT DEPTH, NO BEDROCK OR GROUNDWATER TO 6 FT. PERCOLATION RATE APPROXIMATELY 4 MIN/IN.
 11. WHERE THE SEWER LINE IS UNDER THE DRIVING SURFACE, INSTALL THE PVC PIPE INSIDE A CAST IRON PIPE. EXTEND THE CAST IRON PIPE TWO (2) PAST THE EDGE OF THE PAVEMENT. COVER THE CAST IRON WITH TWO (2) INCHES RIGID FOAM INSULATION, FOAM TO EXTEND ONE (1) FOOT ON EACH SIDE OF THE PIPE.

SEPTIC SYSTEM SITE PLAN			
DWG NO	16025	REV DATE	
SCALE	1" = 10'	DRAWN BY	MS/SEM
DATE	07 JUL 16		SHEET CI

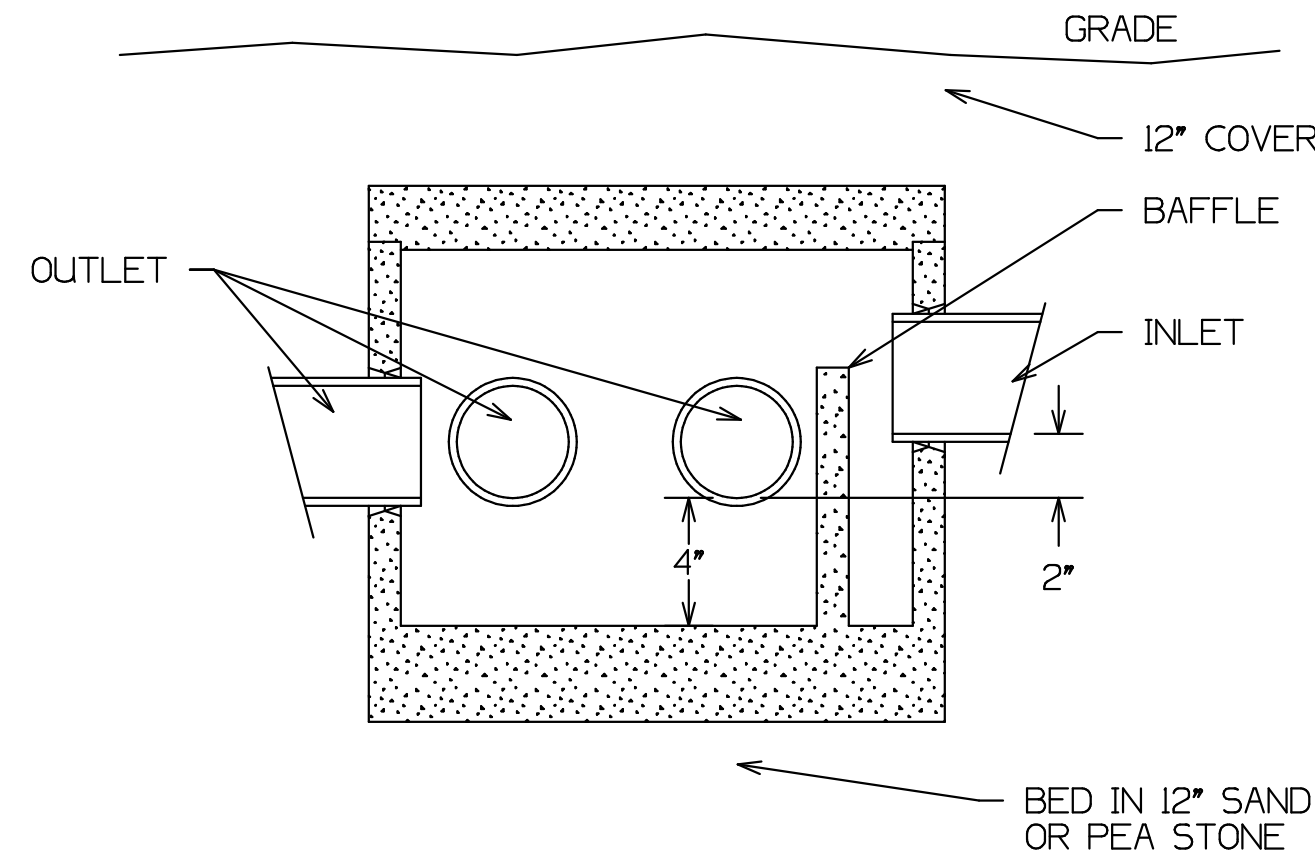
FIRE STATION ADDITION AND RENOVATION

NICHOLS JOINT FIRE DISTRICT
106 W. RIVER ROAD, VILLAGE OF NICHOLS
TIOGA COUNTY, NEW YORK

McIlwain
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PO BOX 127, 5 PARK STREET
NEWARK VALLEY, NEW YORK 13811
607-642-5500 MCELWAINENGINEERING@YAHOO.COM



1500 GALLON SEPTIC TANK



CONCRETE DISTRIBUTION BOX

- NOTES:
1. DO NOT INSTALL TRENCHES IN WET SOIL.
 2. INSTALL TRENCHES PARALLEL TO CONTOURS.
 3. INSTALL TRENCHES AS SHALLOW AS POSSIBLE. (MEET NOTED MINIMUM DEPTHS SHOWN.)
 4. INSTALL INFILTRATOR SECTIONS ON BOTTOM OF LEVEL TRENCH. REFER TO MANUFACTURER INFORMATION FOR INSTALLATION REQUIREMENTS.

ACTUAL SOIL CONDITIONS SEEN FROM SOIL CUT:
INCHES TOP SOIL - 2 TO 4
INCHES PERMEABLE SOIL - TO BOTTOM OF 6 FT HOLE
DEPTH TO GROUND WATER - NONE TO 6 FT

DESIGN CALCULATIONS:

HYDRAULIC LOAD = 500 GPD

SOIL PERCOLATION RATE = 4 MIN/IN

APPLICATION RATE = 1,200 GPD/SQ FT

INFILTRATOR 36

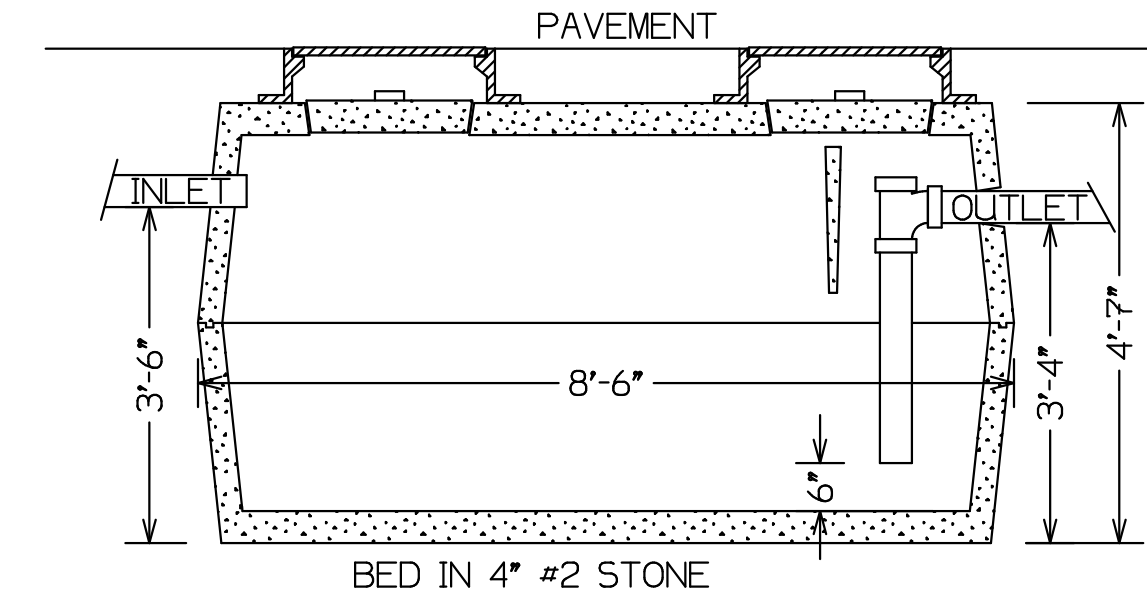
TOTAL TRENCH LENGTH = 160 FT

NUMBER OF TRENCHES = 5

INDIVIDUAL TRENCH LENGTH = 32 FT

THIS DESIGN INCORPORATES THE USE OF A MANUFACTURED BIO-DIFFUSER FOR WATER DISPERSION. IF #2 CRUSHED STONE AND PERFORATED PIPE IS USED, THE TRENCHES ARE TO BE THE SAME AS PRESCRIBED FOR THE INFILTRATOR 24.

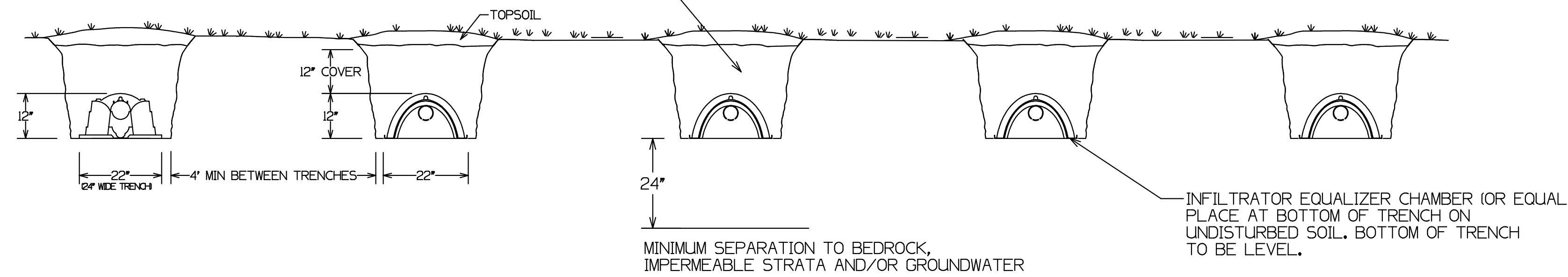
ABOVE DESIGN CRITERIA TAKEN FROM
NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED
WASTEWATER TREATMENT SYSTEMS
MARCH 2014



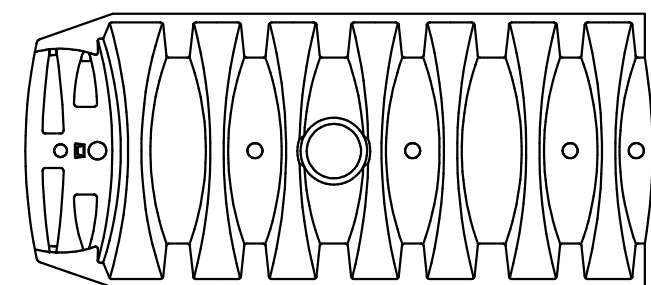
750 GALLON GREASE TRAP

MAY BE PURCHASED FROM BINGHAMTON PRECAST OR EQUAL

BACKFILL WITH NATIVE SOIL - FABRIC OR STRAW COVER NOT RECOMMENDED
MOUND FILL SLIGHTLY TO ALLOW SETTLING.
PLANT GRASS COVER AS SOON AS POSSIBLE.

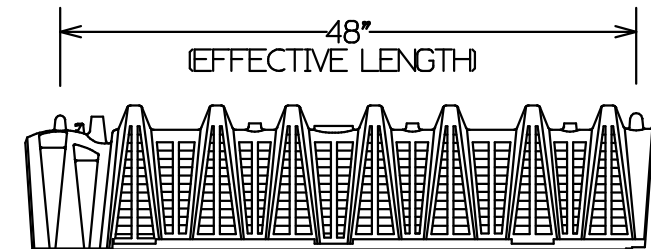


TOP VIEW

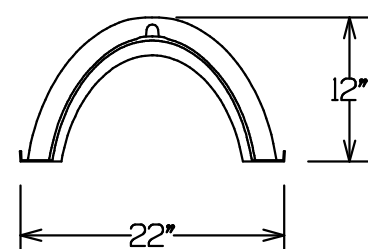


INFILTRATOR WATER TECHNOLOGIES
QUICK4 EQUALIZER 36 CHAMBER
PRODUCT SPECIFICATIONS
(NOT TO SCALE)

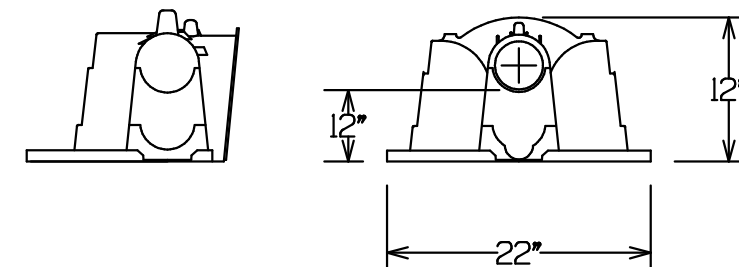
SIDE VIEW



END VIEW

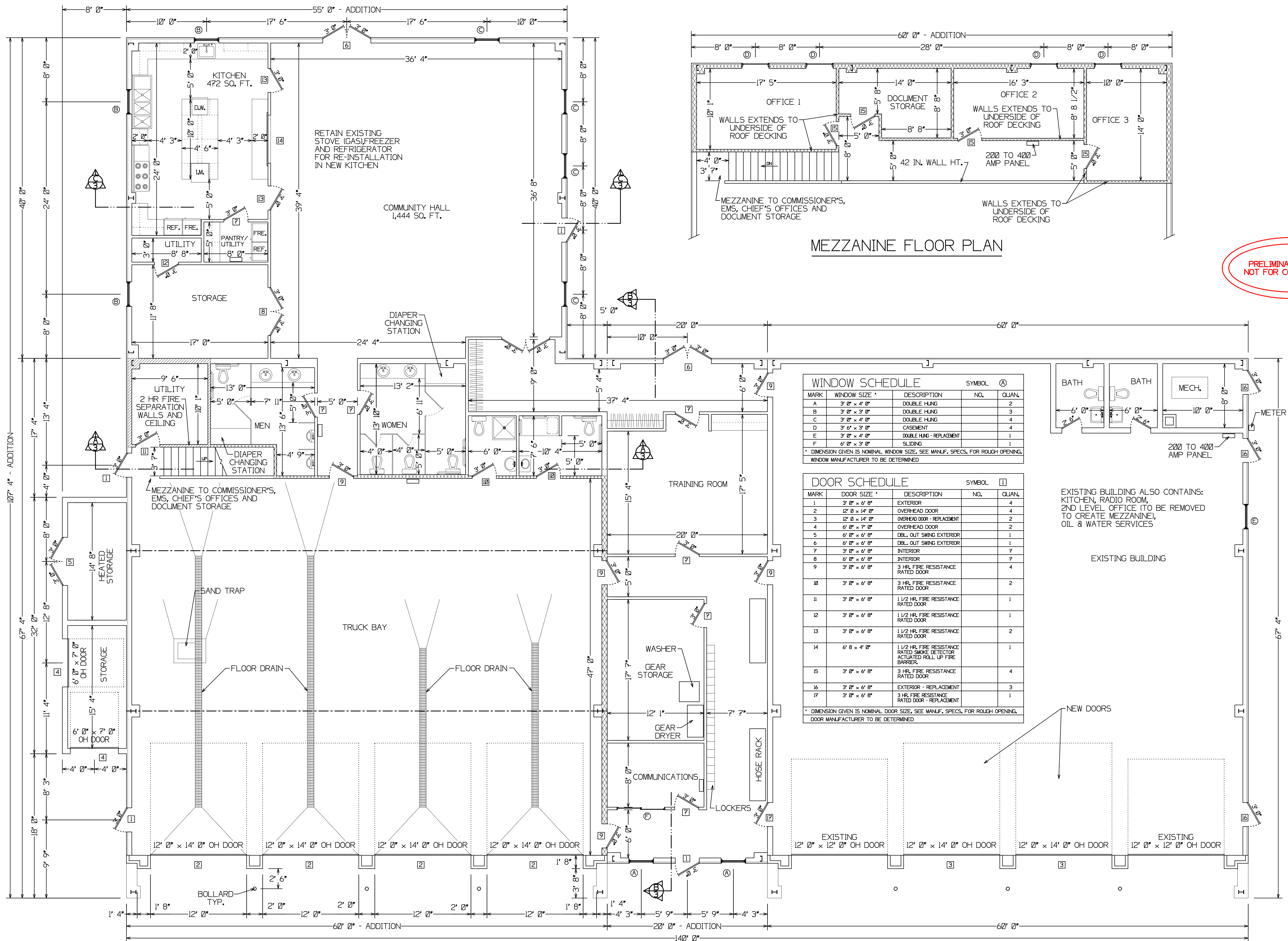


QUICK4 EQUALIZER 36 MULTI-PORT END CAP



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WINDOW SCHEDULE				
MARK	WINDOW SIZE *	DESCRIPTION	NO.	QUAN.
A	3' 0" x 4' 0"	DOUBLE HUNG		2
B	3' 0" x 3' 0"	DOUBLE HUNG		3
C	3' 0" x 4' 0"	DOUBLE HUNG		4
D	3' 0" x 3' 0"	CASEMENT		4
E	3' 0" x 4' 0"	DOUBLE HUNG - REPLACEMENT		1
F	6' 0" x 3' 0"	SLIDING		1
* DIMENSION GIVEN IS NOMINAL WINDOW SIZE, SEE MANUF. SPECS. FOR ROUGH OPENING.				
WINDOW MANUFACTURER TO BE DETERMINED				

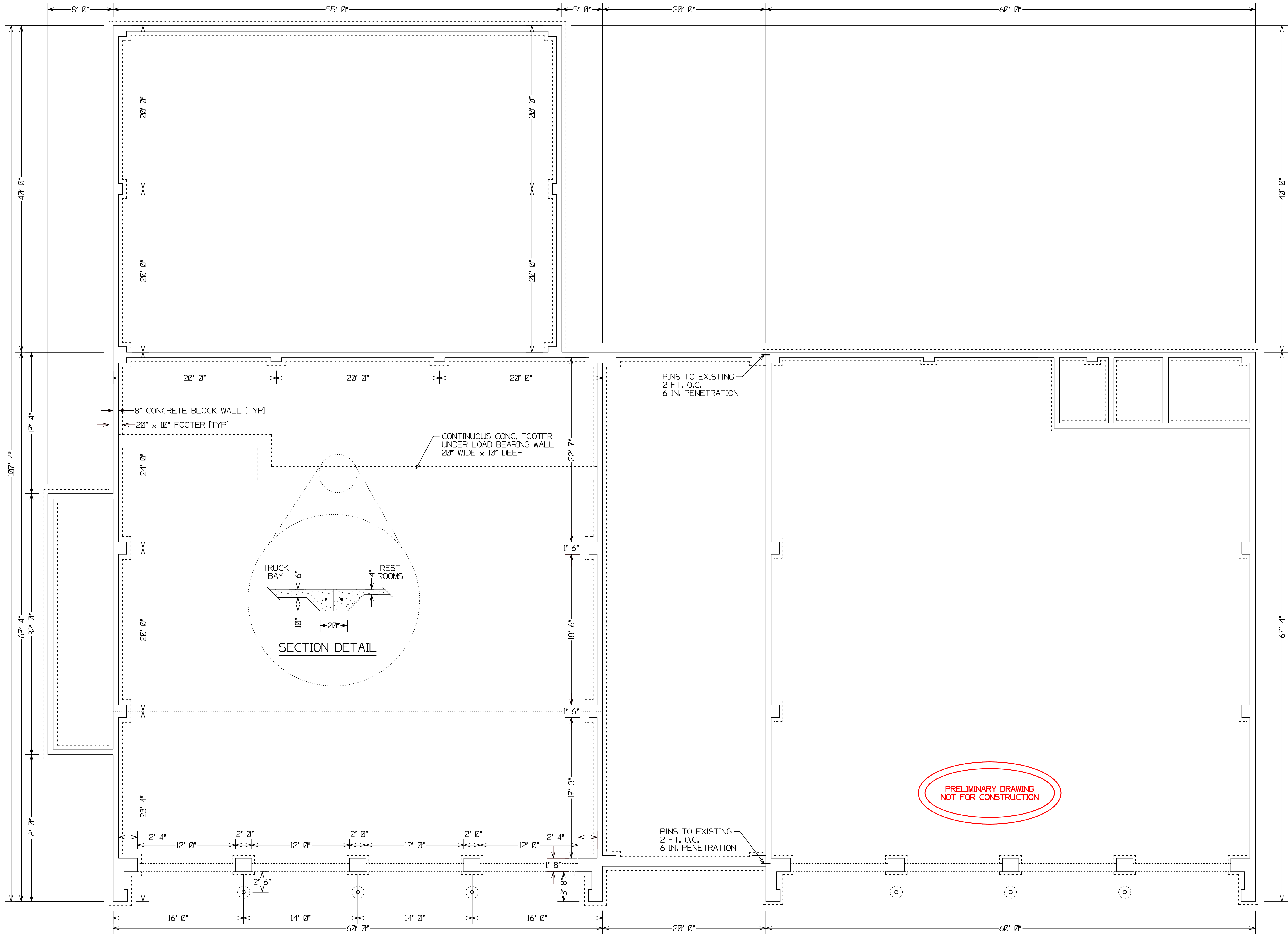
DOOR SCHEDULE				
MARK	DOOR SIZE *	DESCRIPTION	NO.	QUAN.
1	3' 0" x 6' 8"	EXTERIOR		4
2	12' 0" x 14' 0"	OVERHEAD DOOR		4
3	12' 0" x 14' 0"	OVERHEAD DOOR - REPLACEMENT		2
4	6' 0" x 7' 0"	OVERHEAD DOOR		2
5	6' 0" x 6' 8"	DBL. OUT SWING EXTERIOR		1
6	6' 0" x 6' 8"	DBL. OUT SWING EXTERIOR		1
7	3' 0" x 6' 8"	INTERIOR		7
8	6' 0" x 6' 8"	INTERIOR		7
9	3' 0" x 6' 8"	3 HR. FIRE RESISTANCE RATED DOOR		4
10	3' 0" x 6' 8"	3 HR. FIRE RESISTANCE RATED DOOR		2
11	3' 0" x 6' 8"	1/2 HR. FIRE RESISTANCE RATED DOOR		1
12	3' 0" x 6' 8"	1/2 HR. FIRE RESISTANCE RATED DOOR		1
13	3' 0" x 6' 8"	1/2 HR. FIRE RESISTANCE RATED DOOR		2
14	6' 8" x 4' 0"	1/2 HR. FIRE RESISTANCE RATED SMOKE DETECTOR ACTUATED ROLL UP FIRE BARRIER		1
15	3' 0" x 6' 8"	3 HR. FIRE RESISTANCE RATED DOOR		4
16	3' 0" x 6' 8"	EXTERIOR - REPLACEMENT		3
17	3' 0" x 6' 8"	3 HR. FIRE RESISTANCE RATED DOOR - REPLACEMENT		1
* DIMENSION GIVEN IS NOMINAL DOOR SIZE, SEE MANUF. SPECS. FOR ROUGH OPENING.				
DOOR MANUFACTURER TO BE DETERMINED				

GENERAL NOTES
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MCL Engineering
PO BOX 127, 5 PARK STREET
NEWARK VALLEY, NEW YORK 13811
607-642-5500 MCL@MCLENGINEERING.COM

FIRE STATION ADDITION AND RENOVATION
NICHOLS JOINT FIRE DISTRICT
106 W. RIVER ROAD VILLAGE OF NICHOLS
TIOGA COUNTY, NEW YORK

ADDITION PLAN
DWG NO: 16025
SCALE: 3/16" = 1' 0"
DATE: 07 JUL 17
SHEET: AI



FOUNDATION PLAN

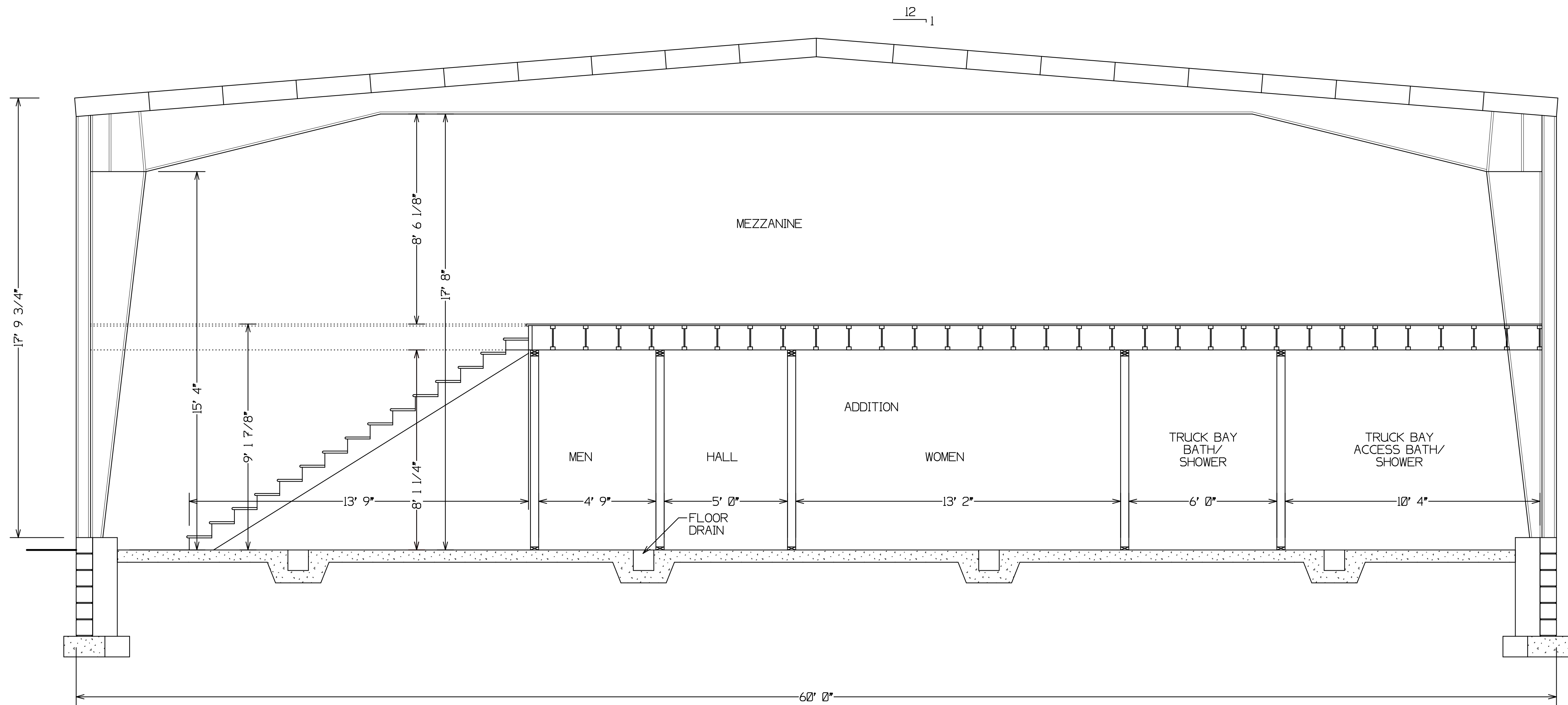
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NEWARK VALLEY, NEW YORK 13811
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FIRE STATION ADDITION AND RENOVATION
NICHOLS JOINT FIRE DISTRICT
106 W. RIVER ROAD, VILLAGE OF NICHOLS
TIOGA COUNTY, NEW YORK

ADDITION FOUNDATION PLAN	
DWG NO. 16025	REV DATE
SCALE: 3/16" = 1' 0"	DRAWN BY: MS
DATE: 07 JUL 17	SHEET: A2



CROSS SECTION A

PRELIMINARY DRAWING
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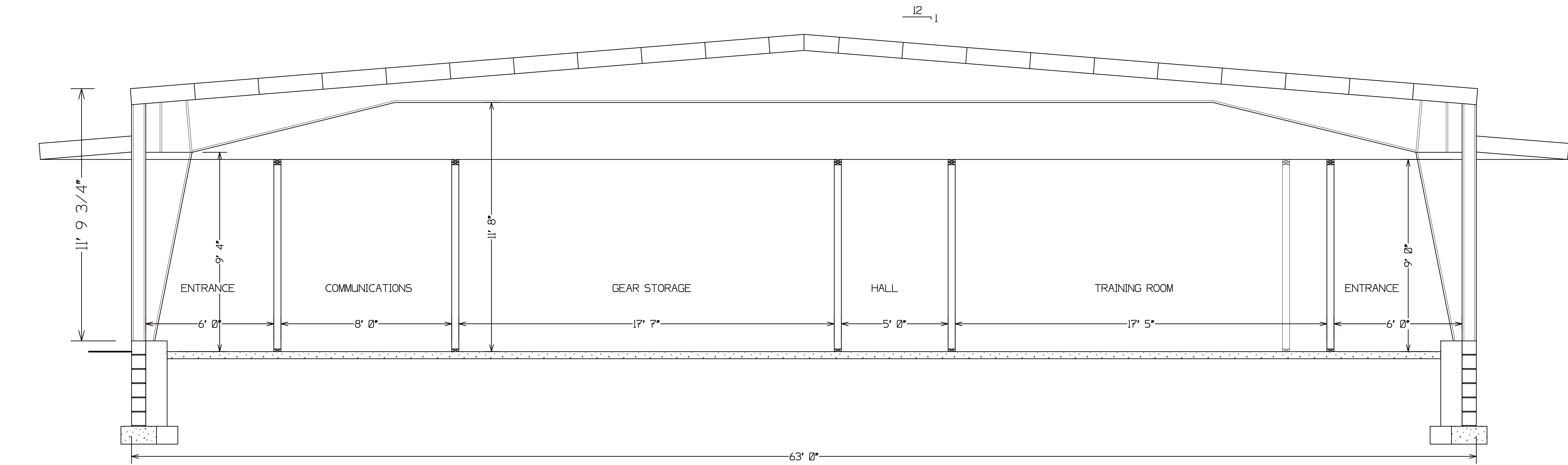
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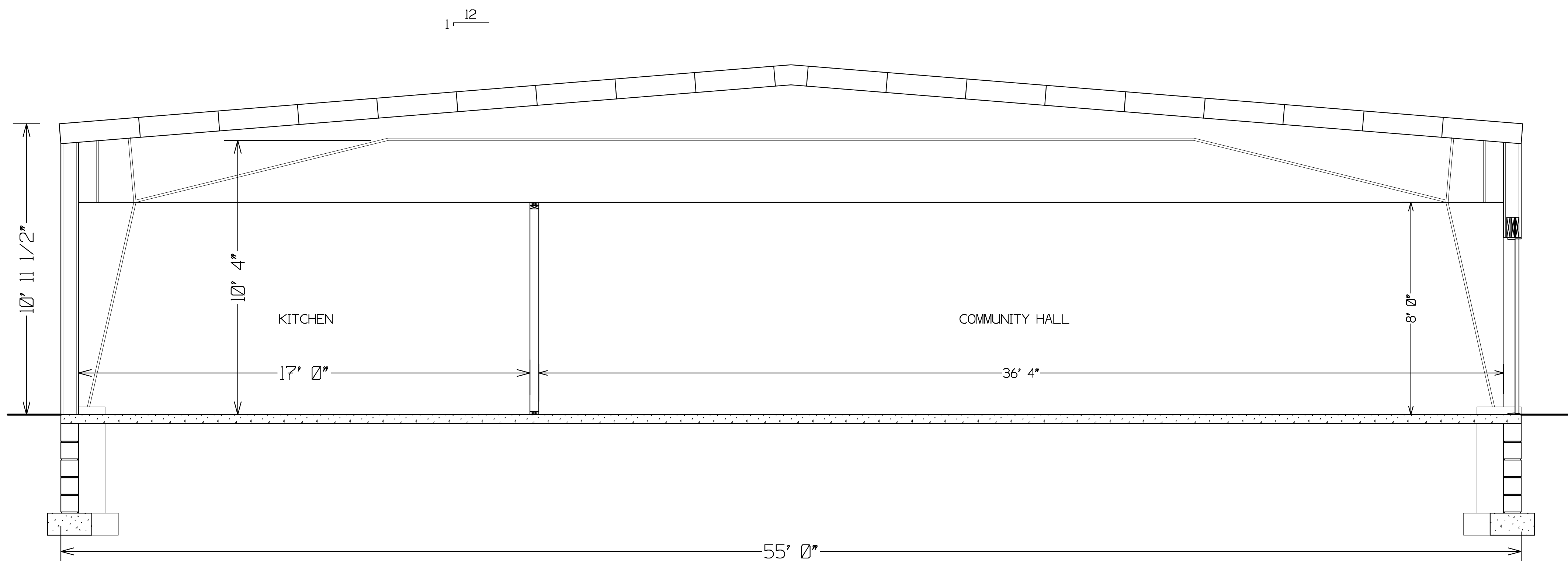
FIRE STATION ADDITION AND RENOVATION

NICHOLS JOINT FIRE DISTRICT
RIVER ROAD, VILLAGE OF NICHOLS
TIOGA COUNTY, NEW YORK

SECTIONS	DWG NO	REV/DATE
	16025	
	SCALE 3/8" = 1' 0"	DRAWN BY MS
	DATE 07 JUL 17	SHEET A4



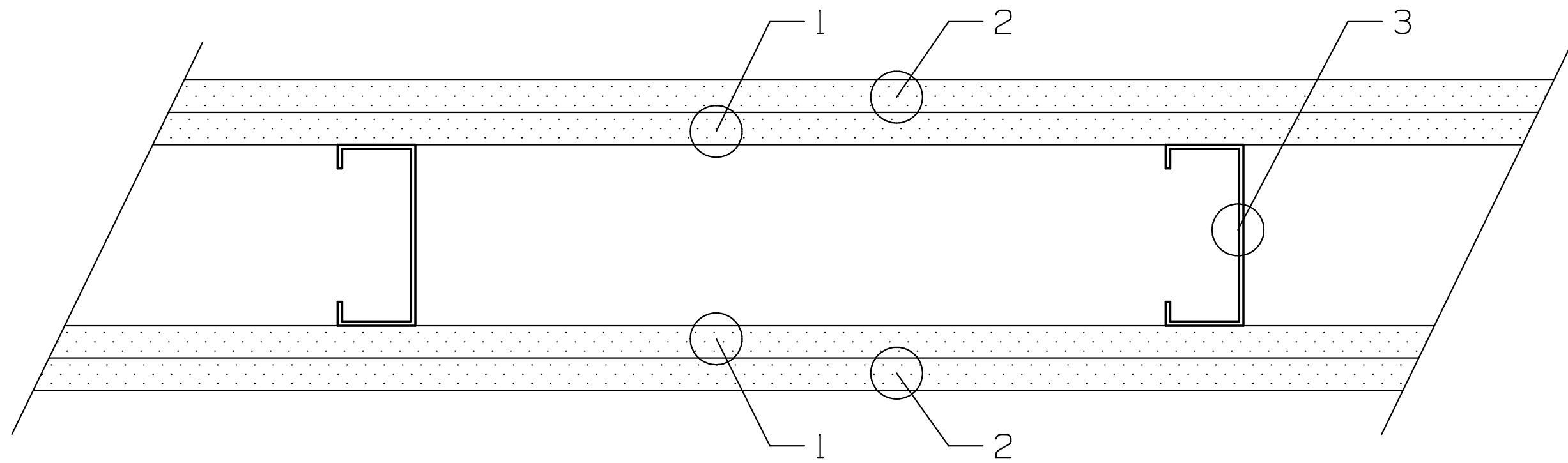
 CROSS SECTION B



 CROSS SECTION C

PRELIMINARY DRAWING
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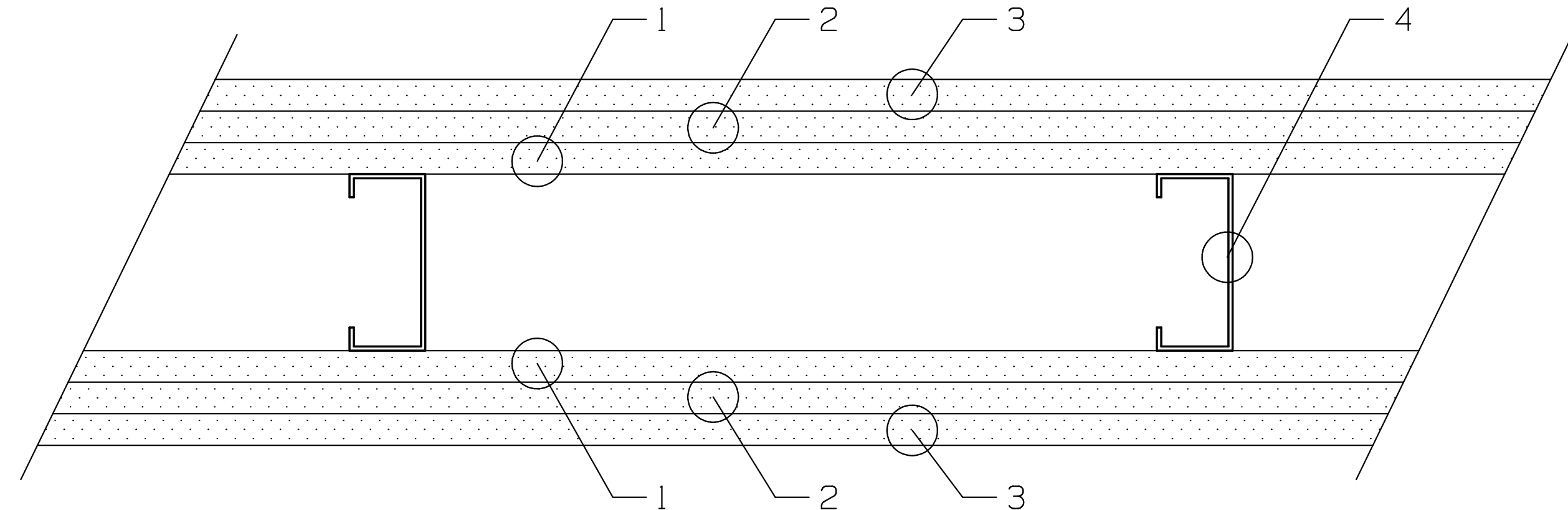
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- ① BASE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLE TO EACH SIDE OF 3 5/8" (MIN.) METAL STUDS, 24" O.C. (MAX) WITH 1" TYPE S DRYWALL SCREWS , 24 IN. O.C.
 - ② FACE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLE TO EACH SIDE WITH 1 5/8" TYPE S DRYWALL SCREWS, 12 IN. O.C.
- STAGGER JOINTS 24" O.C. EACH LAYER AND EACH SIDE.
- ③ 3 5/8" (MIN.) METAL STUDS, 24" ON CENTER (MAX.)

NEW WALL SECTION - 2 HOUR FIRE RATING

REF GYPSUM ASSOCIATION FILE NUMBER WP 1548

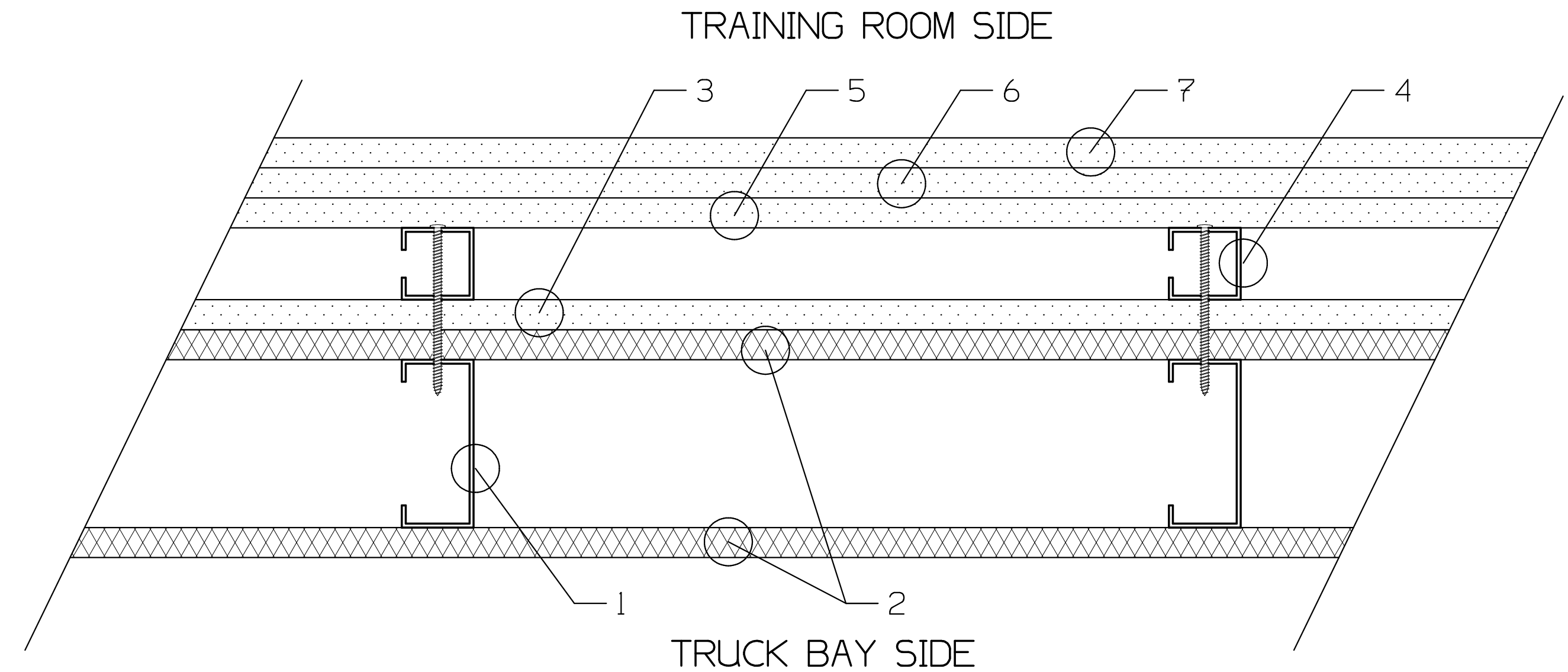


- ① BASE LAYER 1/2" PROPRIETARY TYPE *X* GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL TO EACH SIDE OF 3 5/8" STEEL STUDS, 24" O.C. WITH 1" TYPE S DRYWALL SCREWS, 24" O.C.
 - ② SECOND LAYER 1/2" PROPRIETARY TYPE *X* GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL TO EACH SIDE WITH 1 5/8" TYPE S DRYWALL SCREWS, 24" O.C.
 - ③ FACE LAYER 1/2" PROPRIETARY TYPE *X* GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE WITH 2 1/4" TYPE S DRYWALL SCREWS, 12" O.C. AND 1 1/2" TYPE G DRYWALL SCREWS MIDWAY BETWEEN STUDS 1" ABOVE AND BELOW HORIZONTAL JOINTS FOR RIGHT ANGLE APPLICATION.
- JOINTS STAGGERED 24" EACH LAYER AND SIDE.
- ④ 3 5/8" (MIN.) METAL STUDS, 24" ON CENTER (MAX.)

PROPRIETARY GYPSUM BOARD:
UNITED STATES GYPSUM COMPANY -
1 / 2 " SHEETROCK® BRAND FIRECODE® C CORE GYPSUM PANELS

NEW WALL SECTION - 3 HOUR FIRE RATING

REF GYPSUM ASSOCIATION FILE NUMBER WP 2800



- ① METAL STUDS OF EXISTING BARRIER WALL.
- ② GYPSUM WALLBOARD OF EXISTING BARRIER WALL.
- ③ ONE LAYER 1/2" PROPRIETARY TYPE *X* GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED OVER COMMUNITY HALL SIDE OF EXISTING BARRIER WALL AND SECURED TO EXISTING STUDS WITH 2" TYPE S DRYWALL SCREWS, 24" O.C.
- ④ 1 5/8" (MIN.) METAL STUDS SCREWED TO EXISTING WALL STUDS WITH 3 1/2 IN. LONG, #8 OR #10 STRUCTURAL STEEL SCREWS, 24" O.C.
- ⑤ BASE LAYER 1/2" PROPRIETARY TYPE *X* GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL TO COMMUNITY HALL SIDE OF NEW 1 5/8" STEEL STUDS WITH 1" TYPE S DRYWALL SCREWS, 24" O.C.
- ⑥ SECOND LAYER 1/2" PROPRIETARY TYPE *X* GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL TO COMMUNITY HALL SIDE OF NEW STUDS WITH 1 5/8" TYPE S DRYWALL SCREWS, 24" O.C.
- ⑦ FACE LAYER 1/2" PROPRIETARY TYPE *X* GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO COMMUNITY HALL SIDE OF NEW STUDS WITH 2 1/4" TYPE S DRYWALL SCREWS, 12" O.C. AND 1 1/2" TYPE G DRYWALL SCREWS MIDWAY BETWEEN STUDS 1" ABOVE AND BELOW HORIZONTAL JOINTS FOR RIGHT ANGLE APPLICATION.

JOINTS STAGGERED EACH LAYER.

PROPRIETARY GYPSUM BOARD:
UNITED STATES GYPSUM COMPANY -
1 / 2 " SHEETROCK® BRAND FIRECODE® C CORE GYPSUM PANELS

BUILT-UP EXISTING WALL SECTION

3 HOUR FIRE RATING



GENERAL NOTES

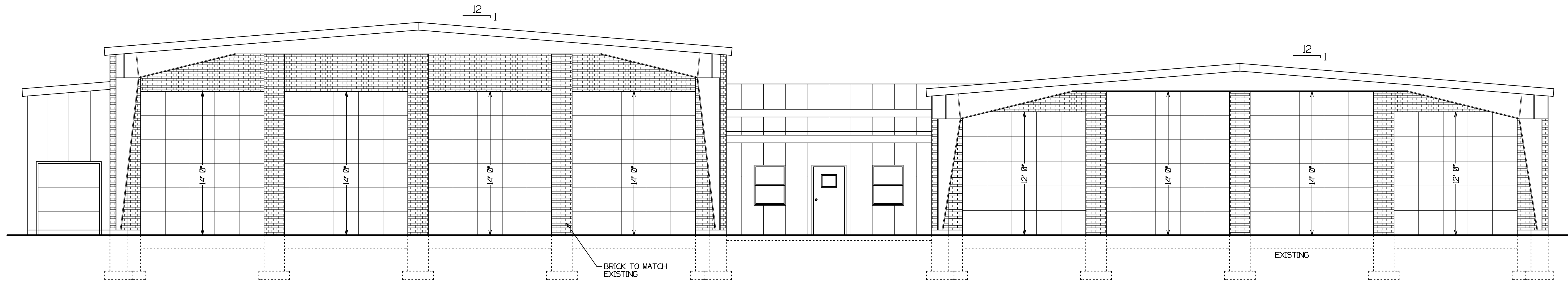
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FIRE RATED WALL SECTIONS	
DWG NO	REV DATE
16025	
SCALE	DRAWN BY
NONE	MS
DATE	SHEET
07 JUL 17	A6

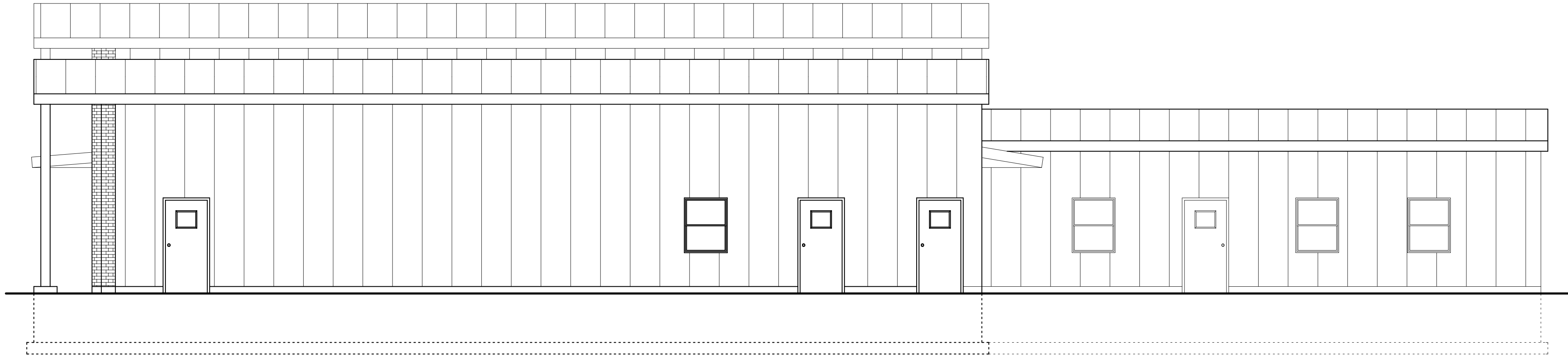
FIRE STATION ADDITION AND RENOVATION

NICHOLS JOINT FIRE DISTRICT
RIVER ROAD VILLAGE OF NICHOLS
106 W. RIVER ROAD
TIOGA COUNTY, NEW YORK

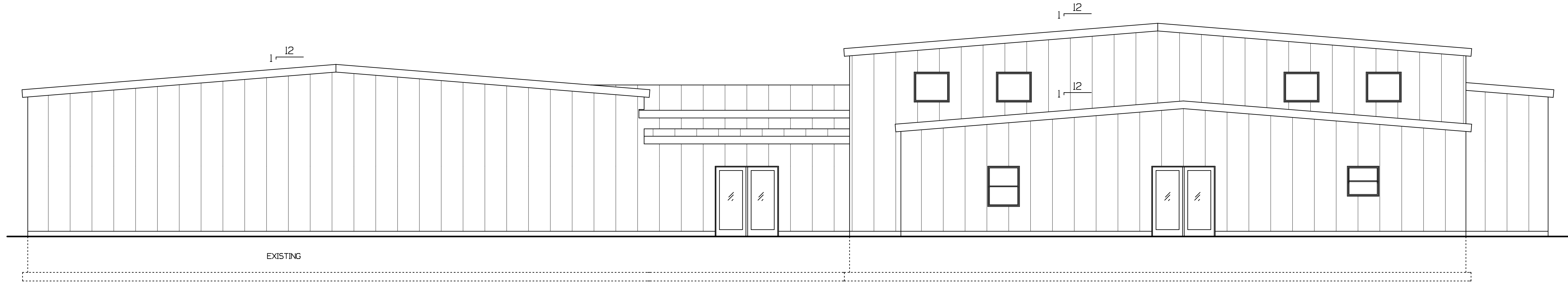
McIlwain
Engineering
PO BOX 127, 5 PARK STREET
NEWARK VALLEY, NEW YORK 13811
607-462-5500 MCELWAINENGINEERING@YAHOO.COM



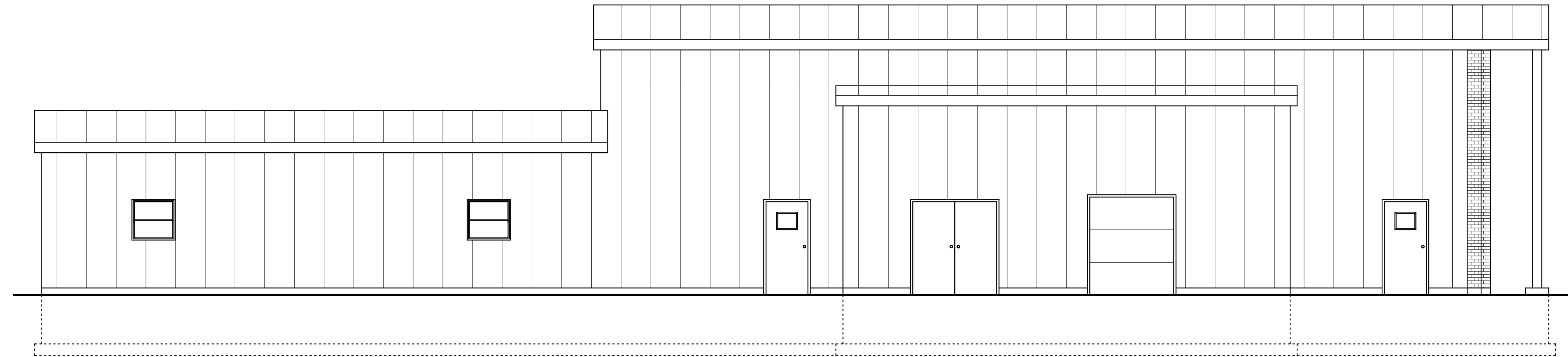
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

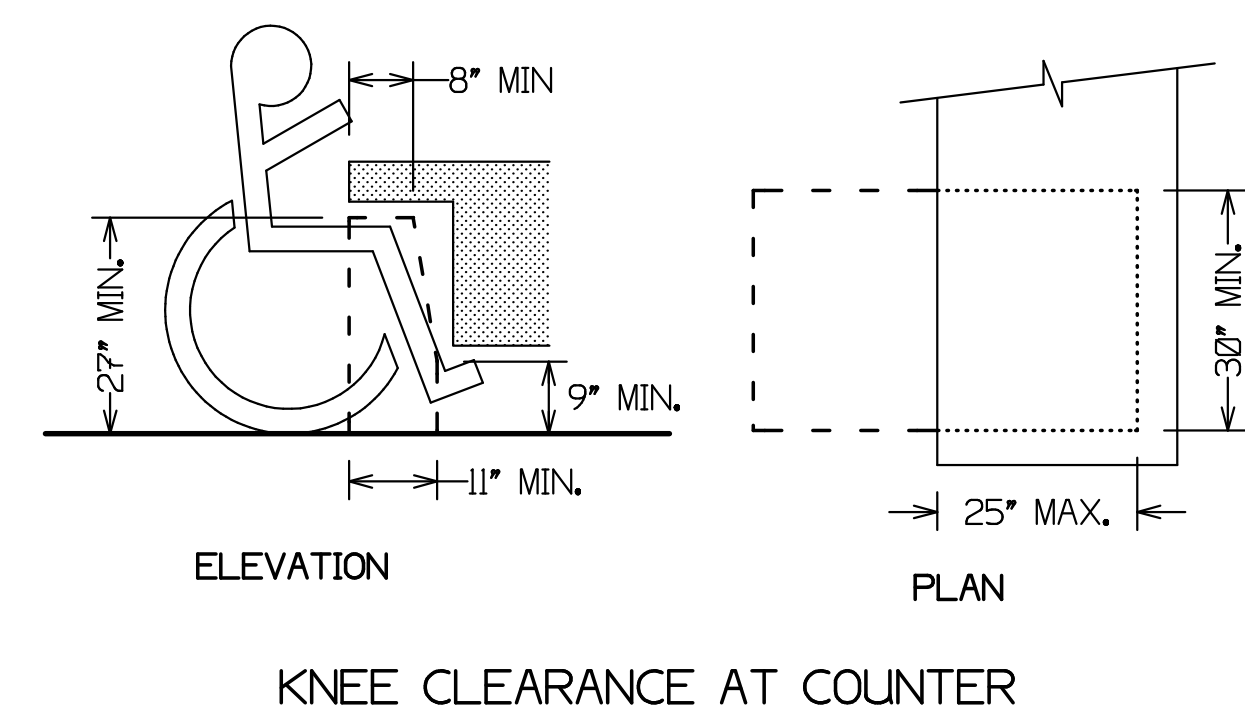
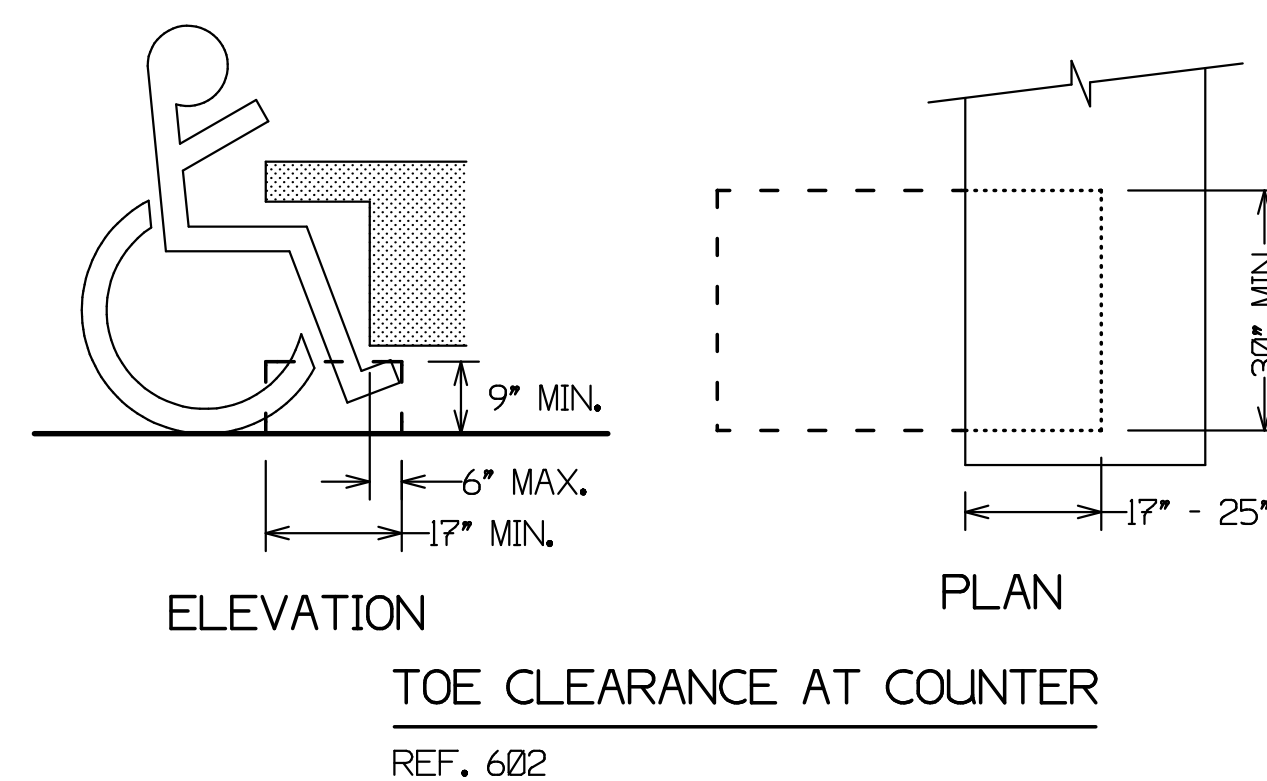
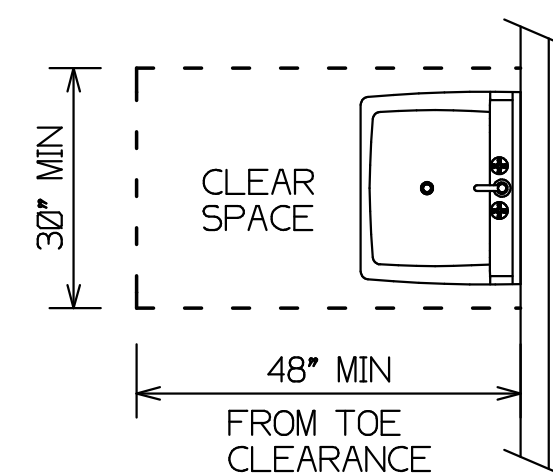
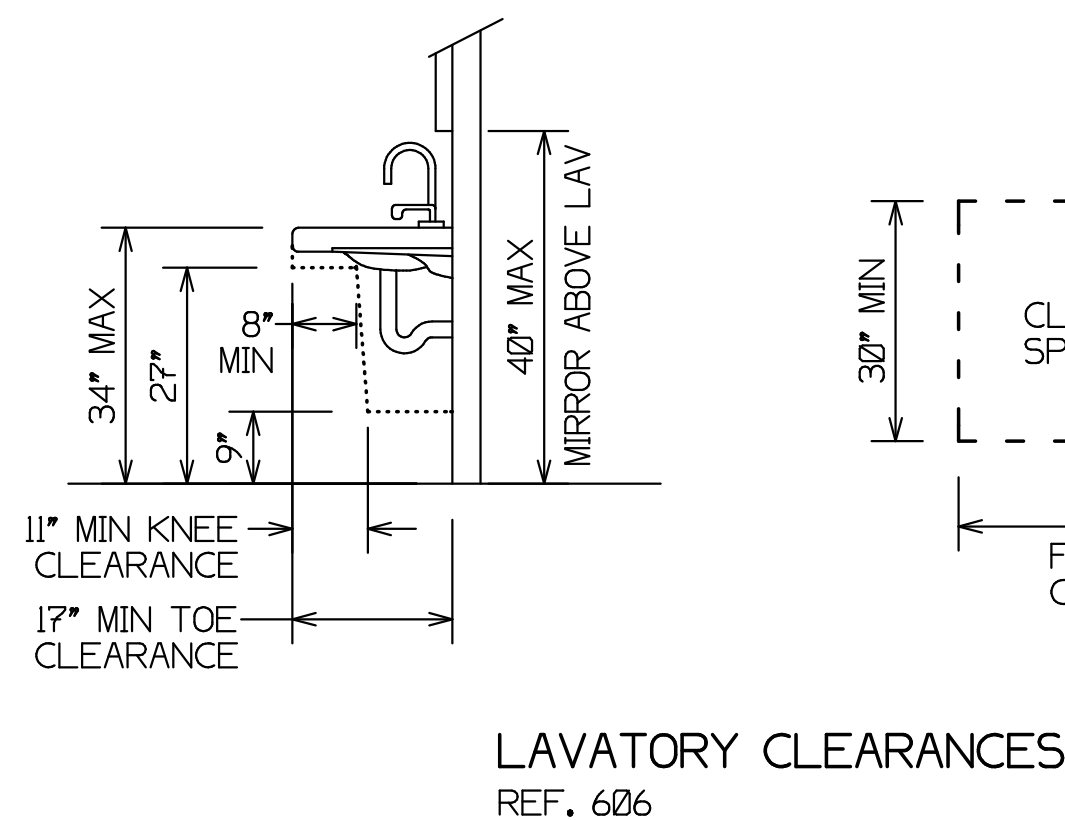
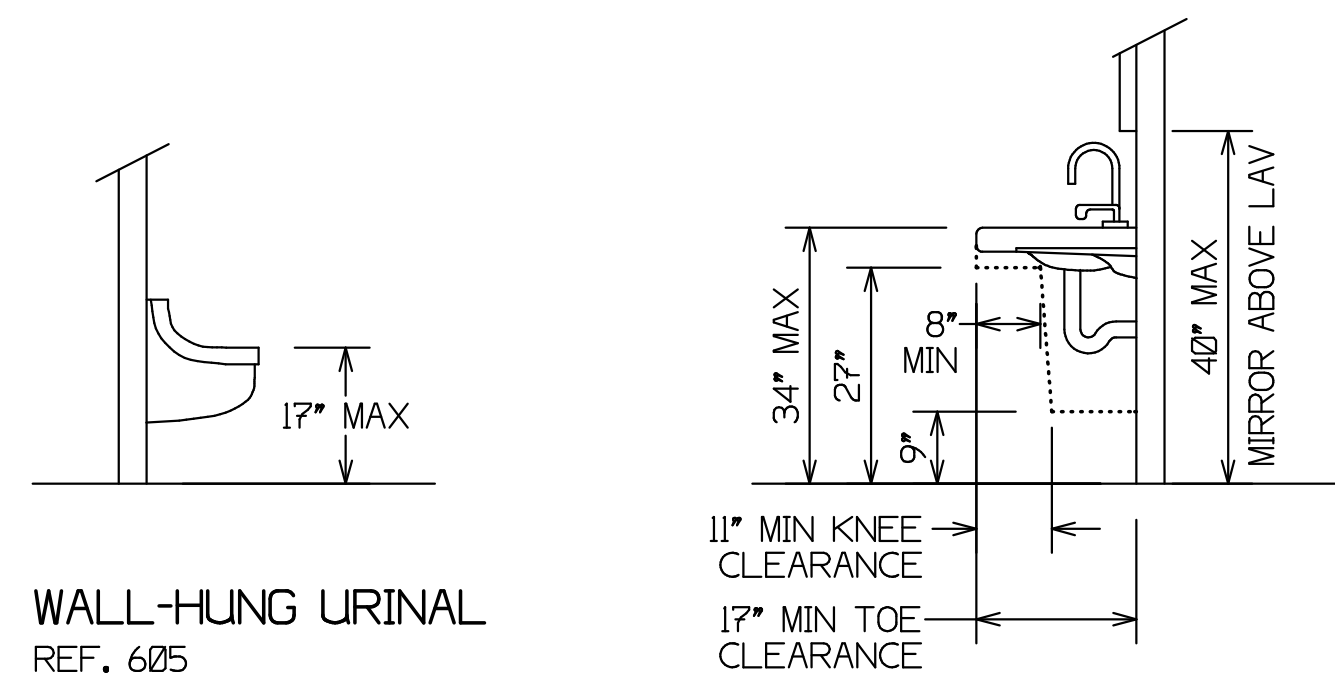
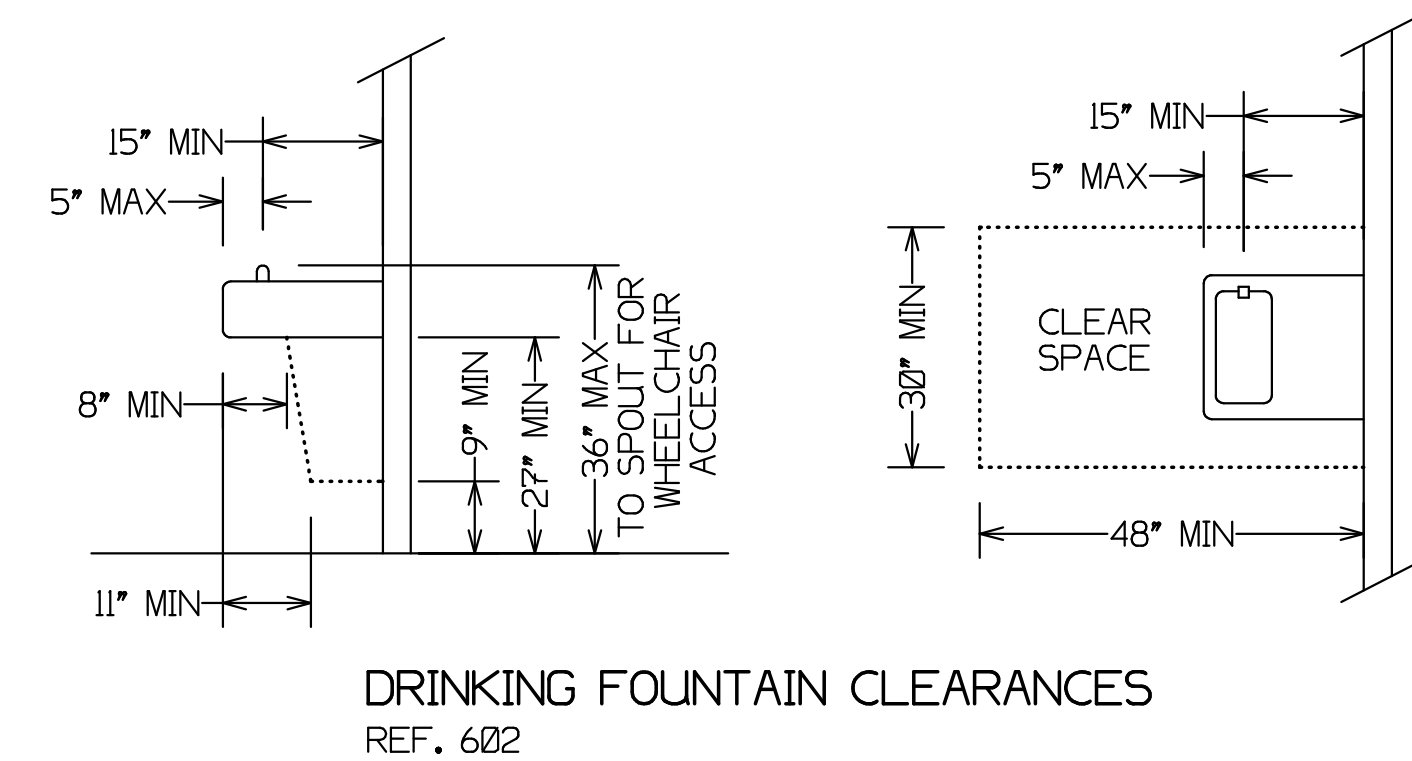
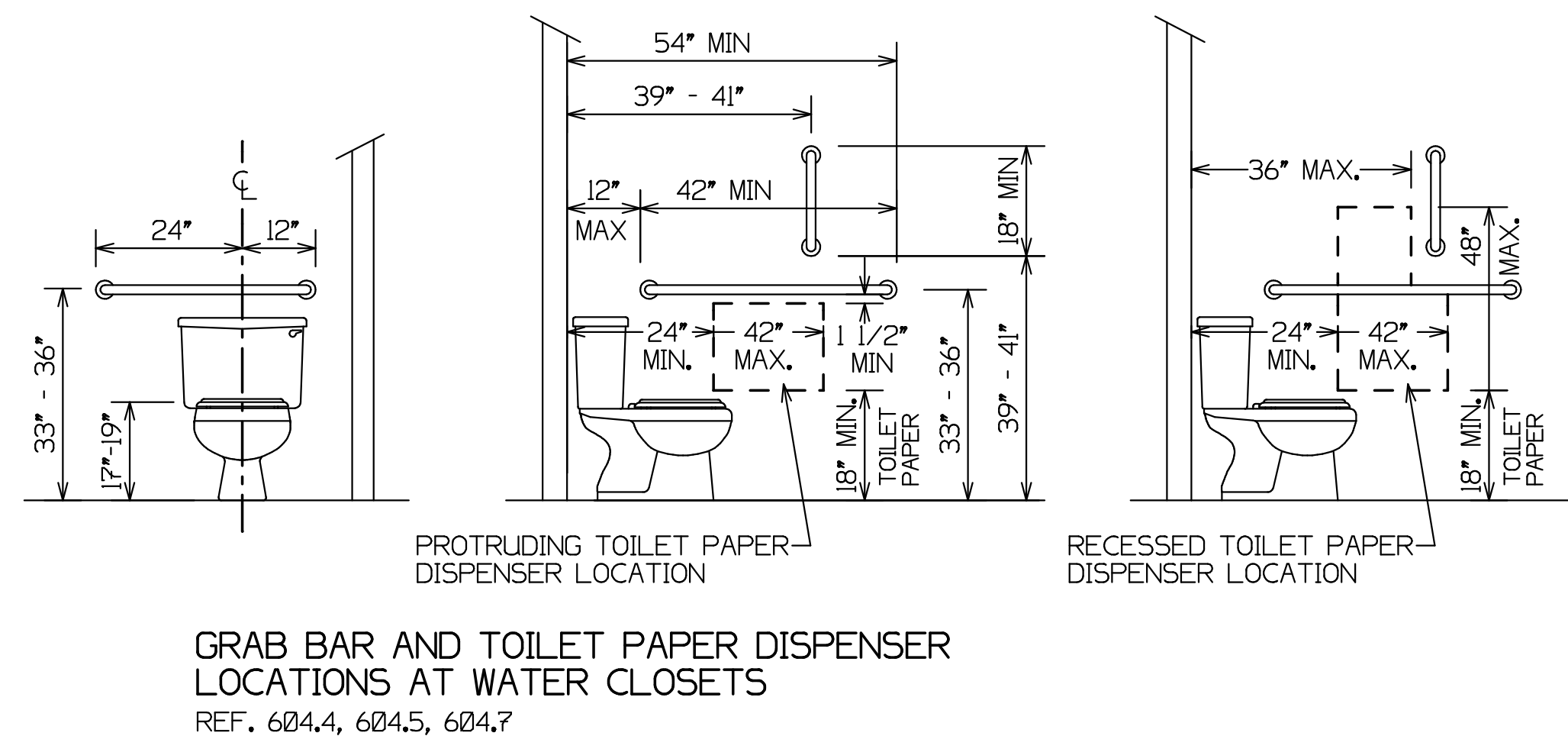
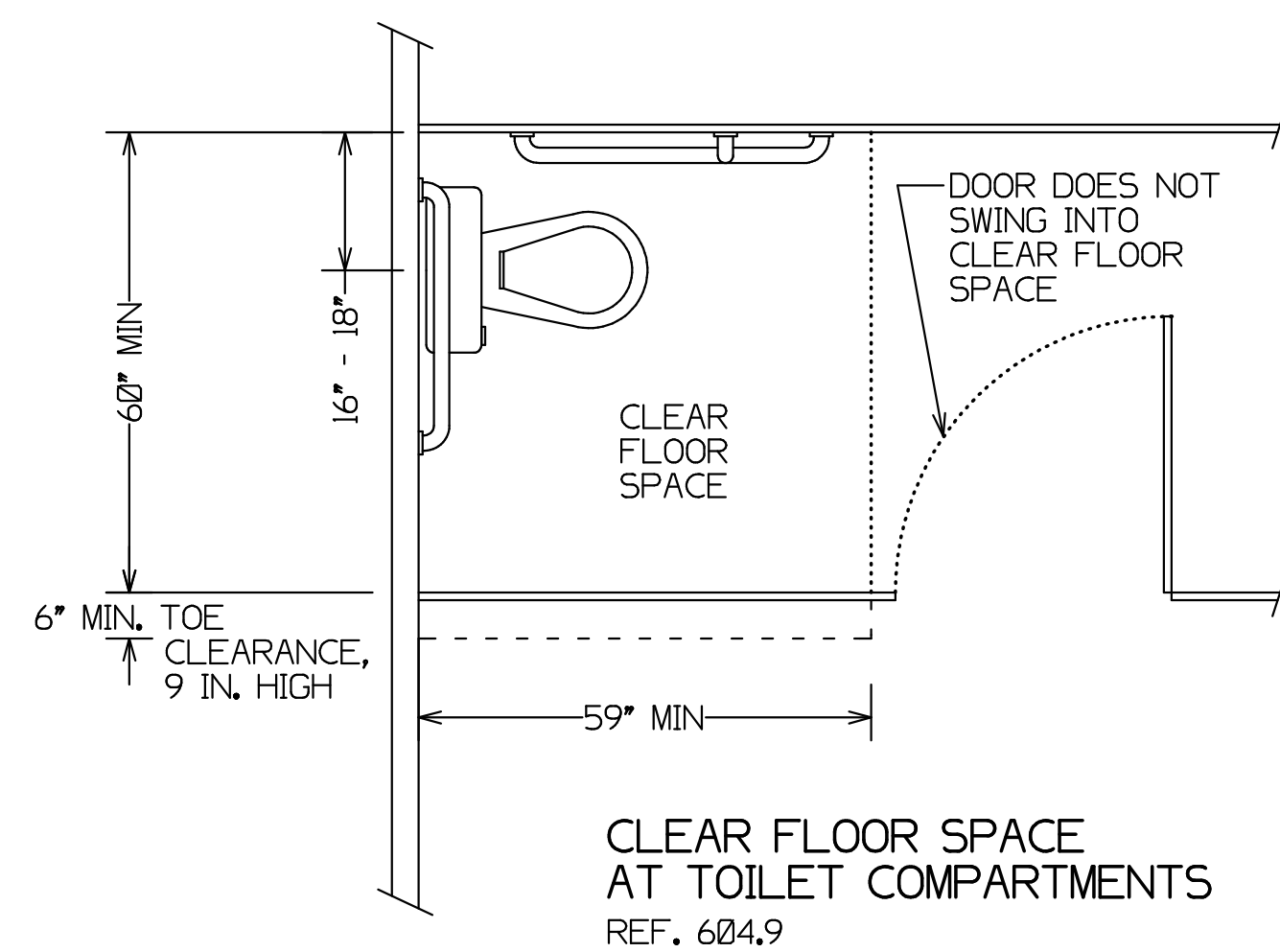
PRELIMINARY DRAWING
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Mclwain Engineering
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NEWARK VALLEY, NEW YORK 13811
607-642-5500 MCLWAINENGINEERING@YAHOO.COM

FIRE STATION ADDITION AND RENOVATION
NICHOLS JOINT FIRE DISTRICT
106 W. RIVER ROAD, VILLAGE OF NICHOLS
TIOGA COUNTY, NEW YORK

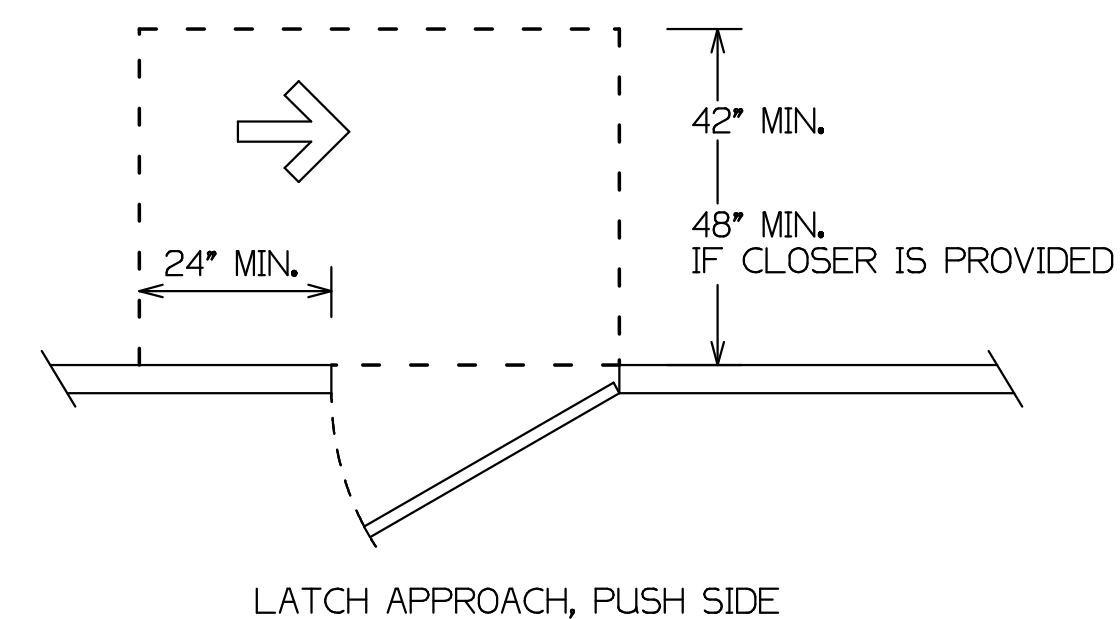
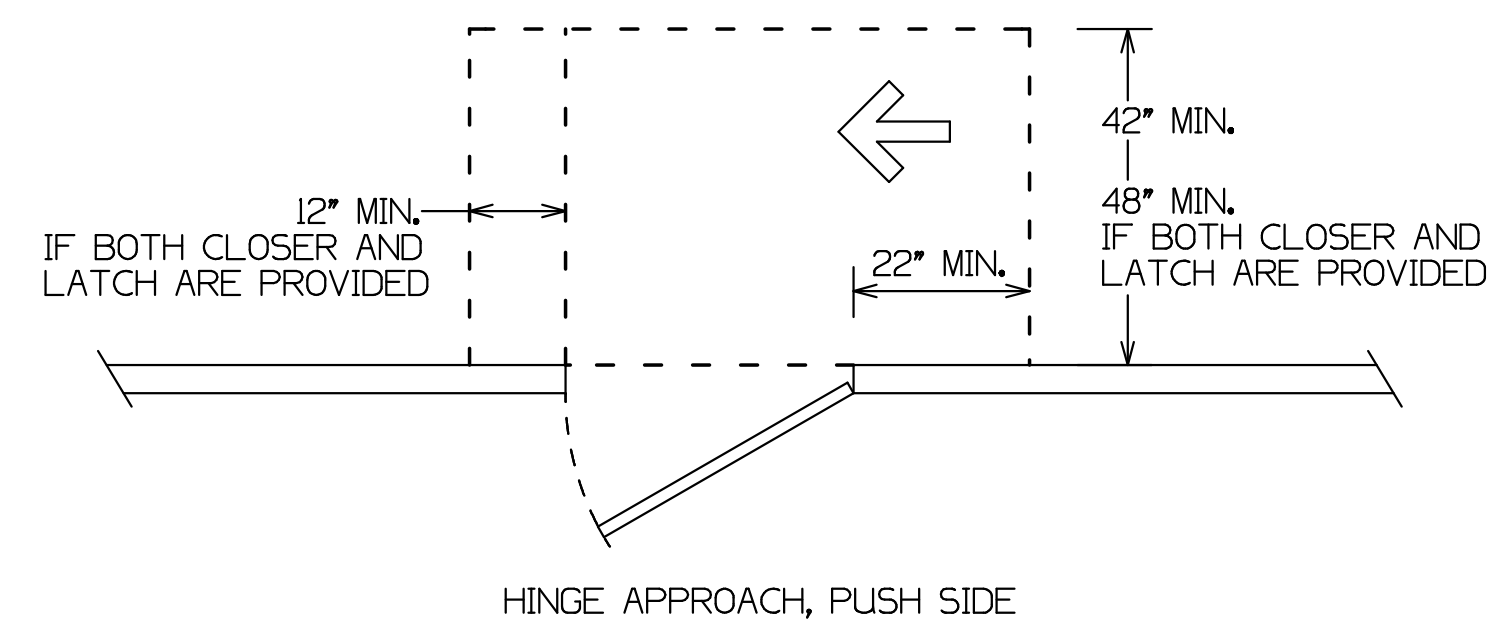
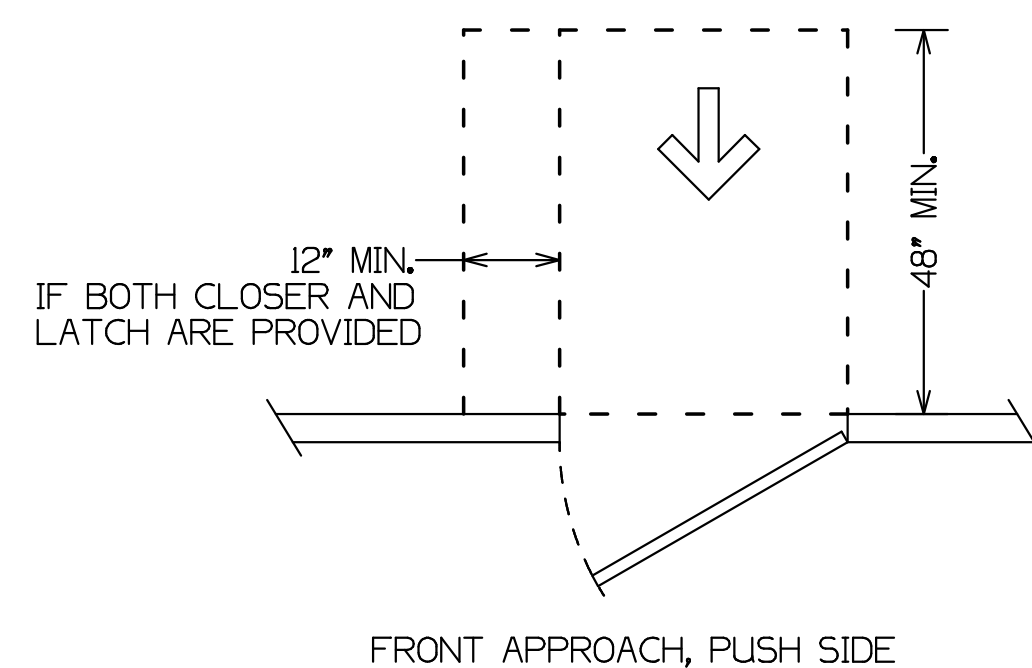
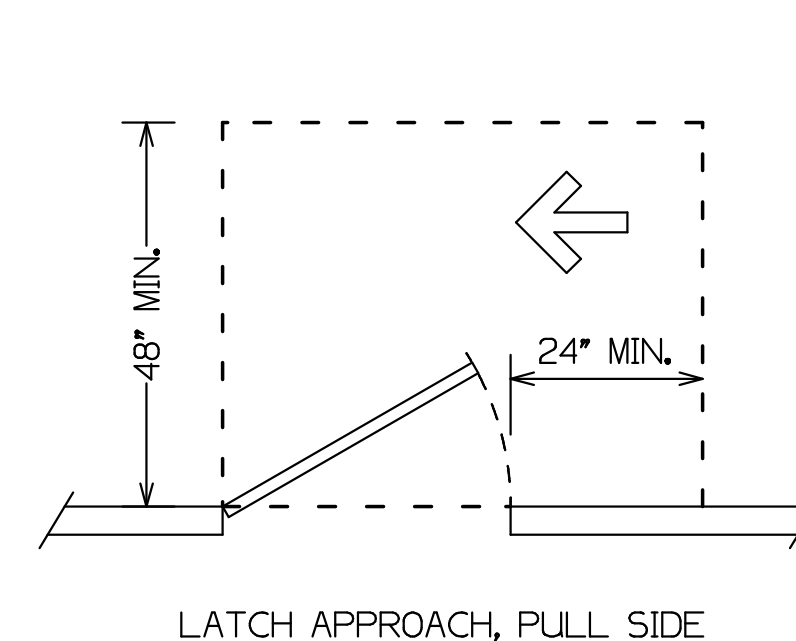
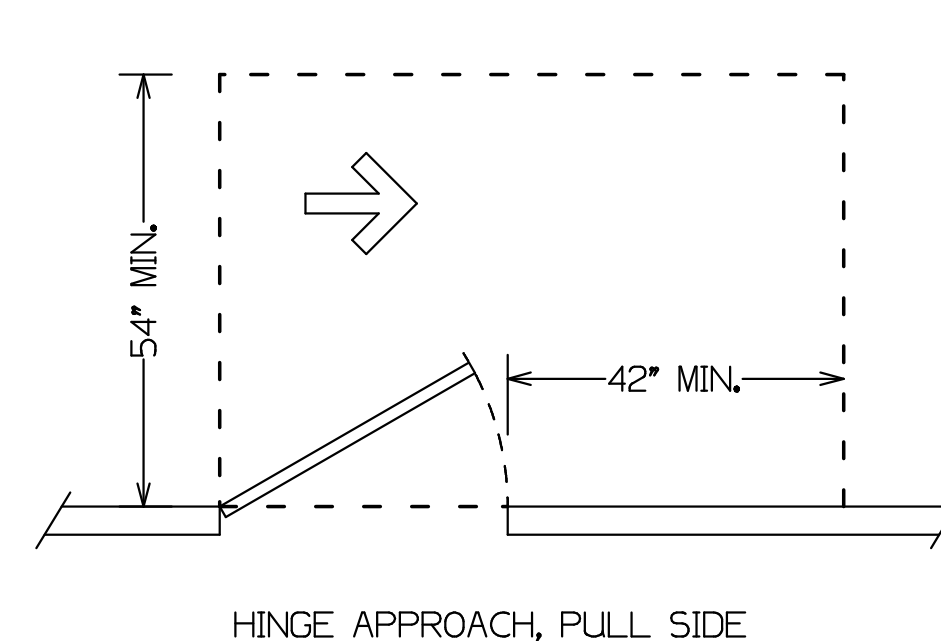
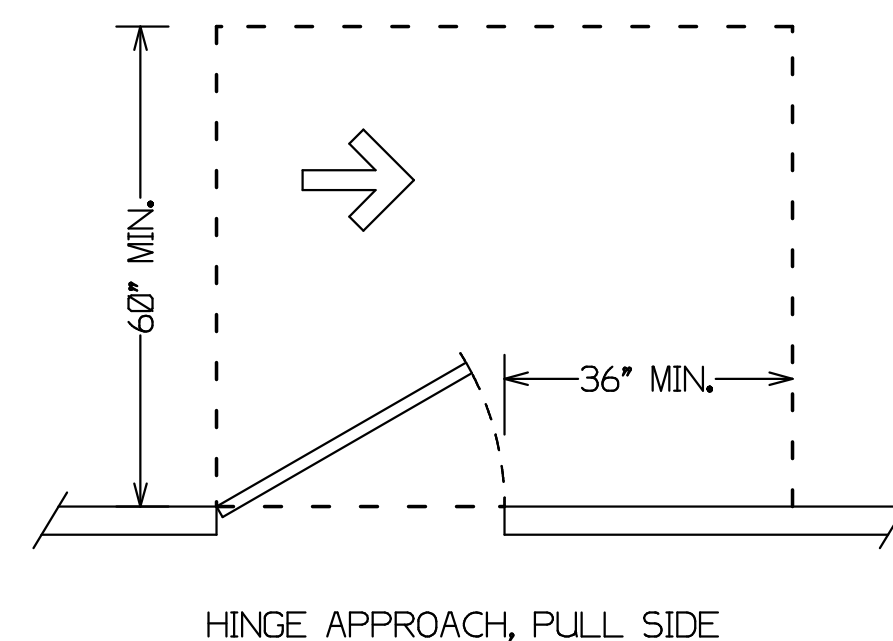
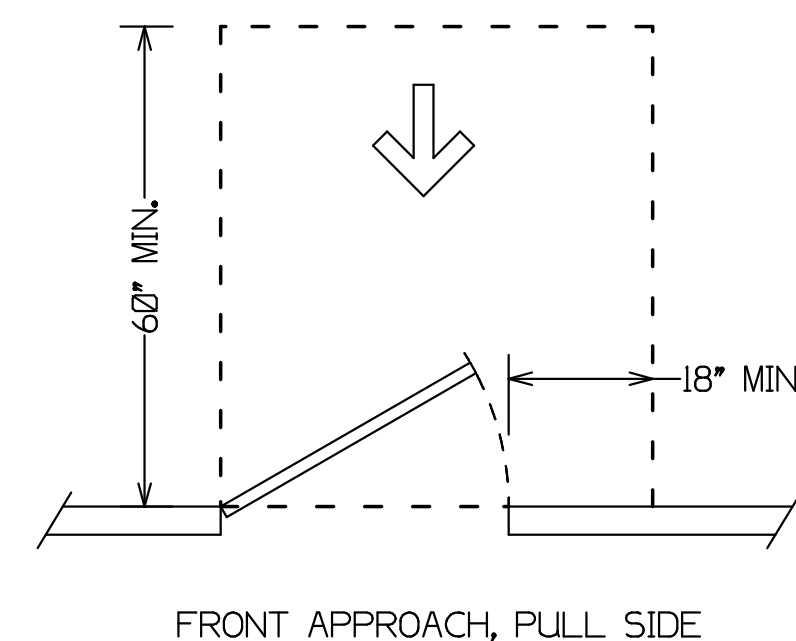
ELEVATIONS	REVISED	DRAWN BY	MS	SHEET A7
DWG NO: 16025				
SCALE: 3/16" = 1' 0"				
DATE: 07 JUL 17				



ACCESSIBILITY DETAILS

REF. ICC/ANSI A117.1-2009

SCALE: 1/2" = 1'



MANEUVERING CLEARANCE AT MANUAL SWINGING DOORS

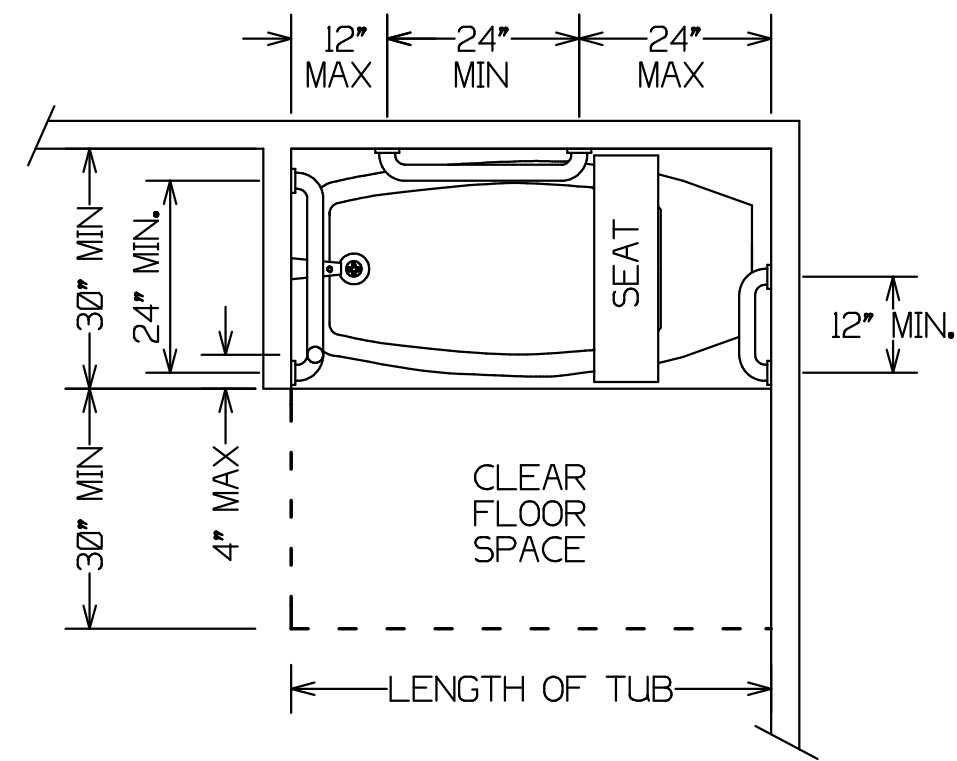
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GENERAL NOTES

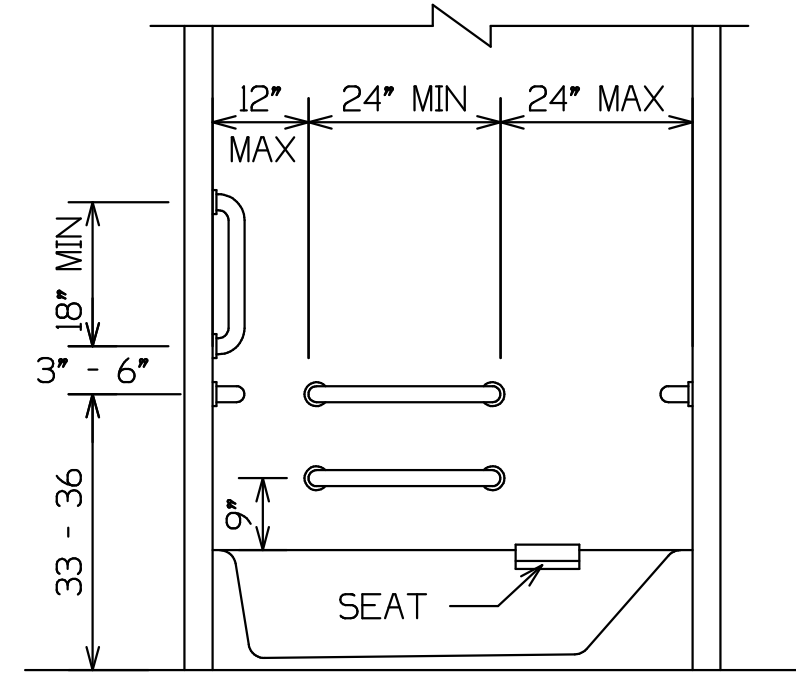
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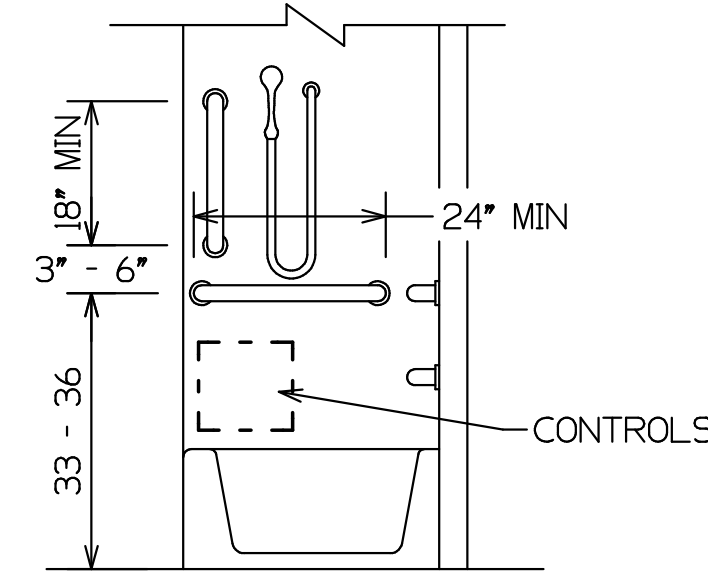
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PROCESSES DO NOT ALWAYS
G MAINTAIN DIMENSIONAL ACCURACY.
DO NOT ATTEMPT TO SCALE DIMENSIONS
FROM THIS DRAWING.



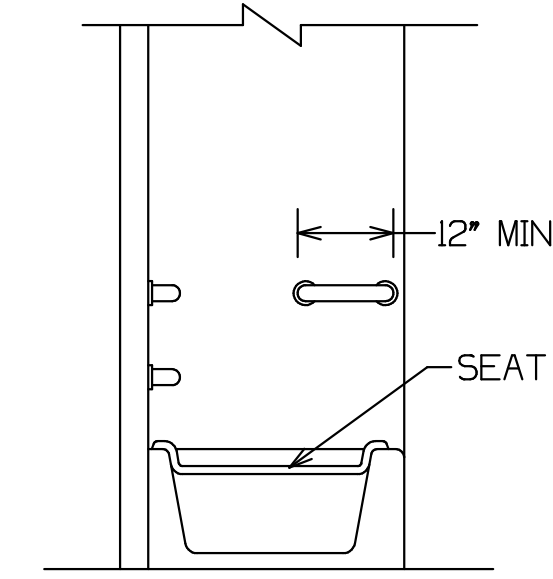
CLEAR FLOOR SPACE
AND GRAB BAR LOCATIONS
REF. 607.2, 607.4.2



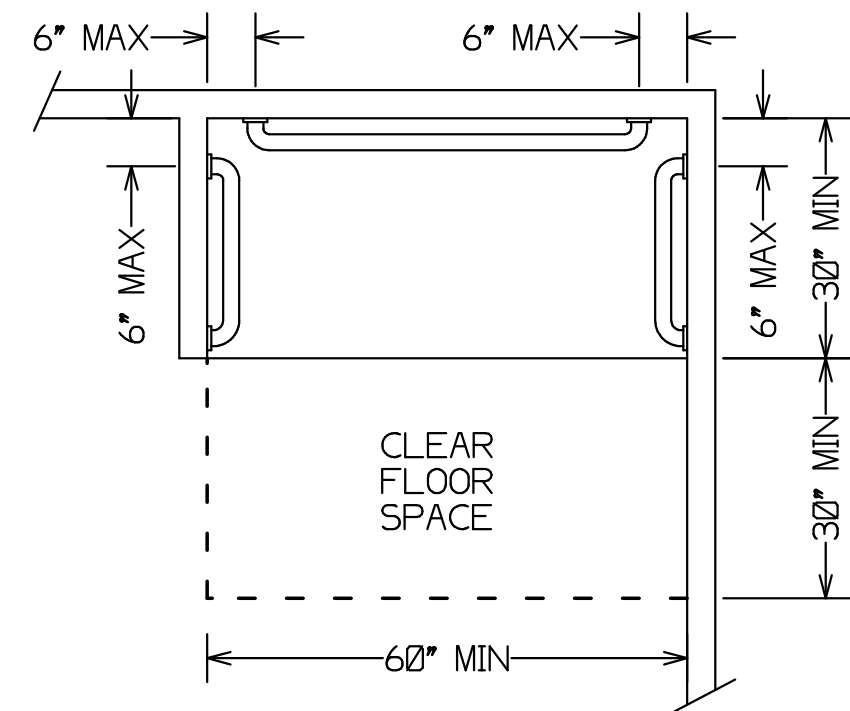
BACK WALL WITH
GRAB BAR LOCATIONS
REF. 607.4.2.1



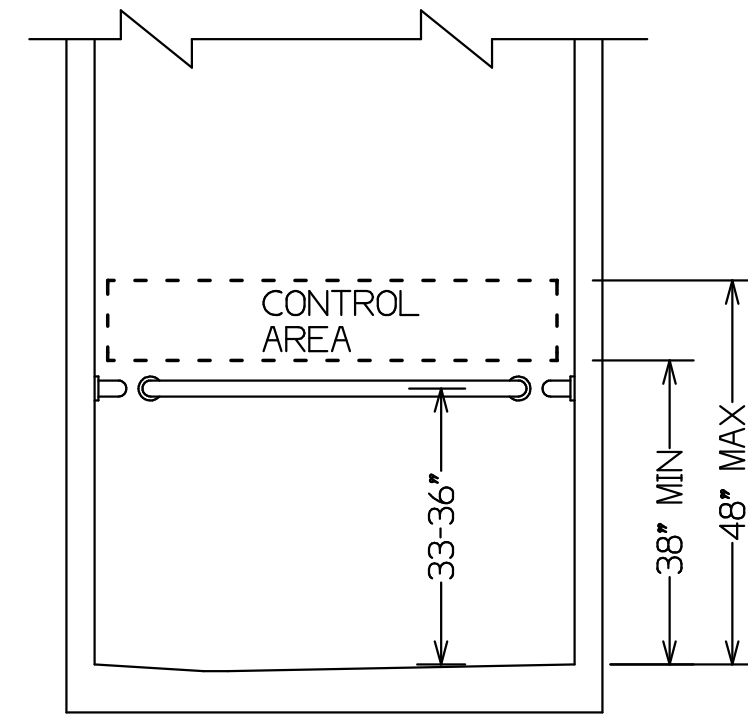
FOOT WALL WITH
GRAB BAR &
CONTROL LOCATIONS
REF. 607.4.2.2



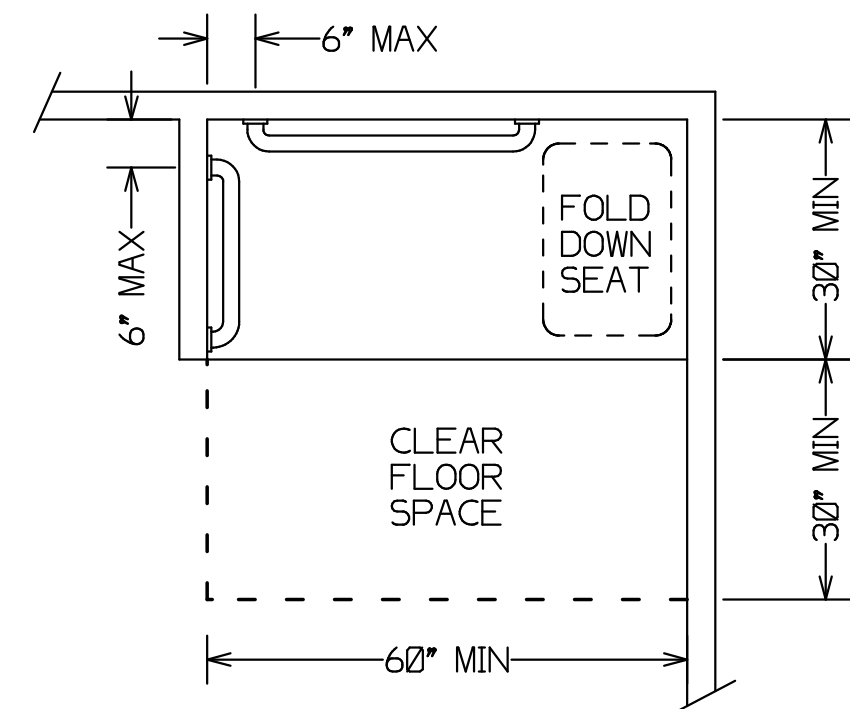
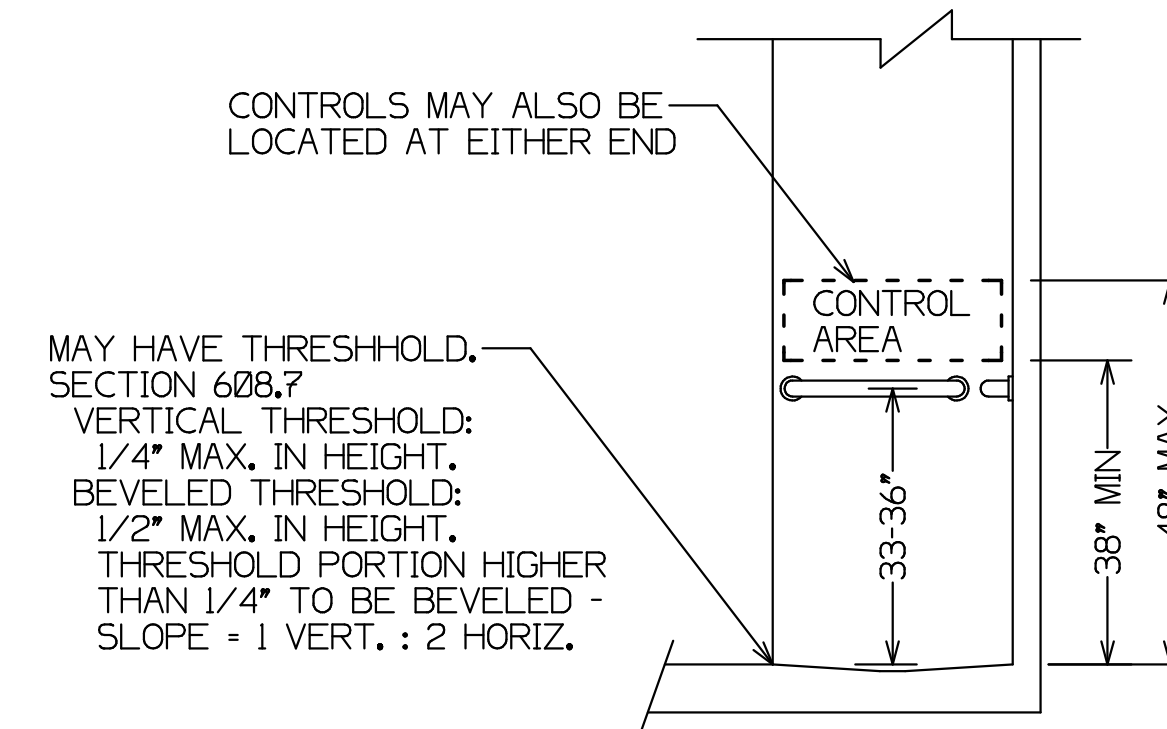
HEAD WALL WITH
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REF. 607.4.2.3



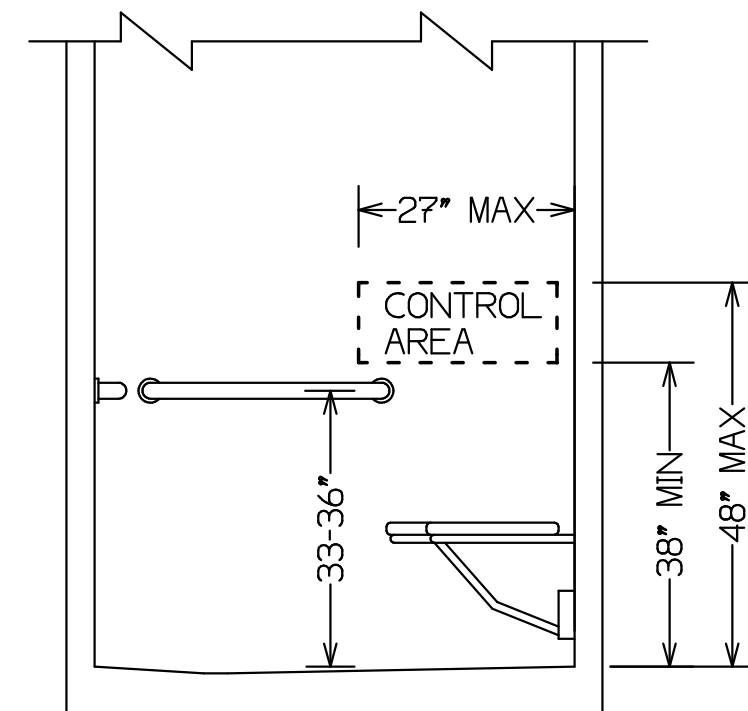
CLEAR FLOOR SPACE
AND GRAB BAR LOCATIONS
AT STANDARD ROLL-IN-TYPE SHOWER
REF. 608.2.2, 608.3.2



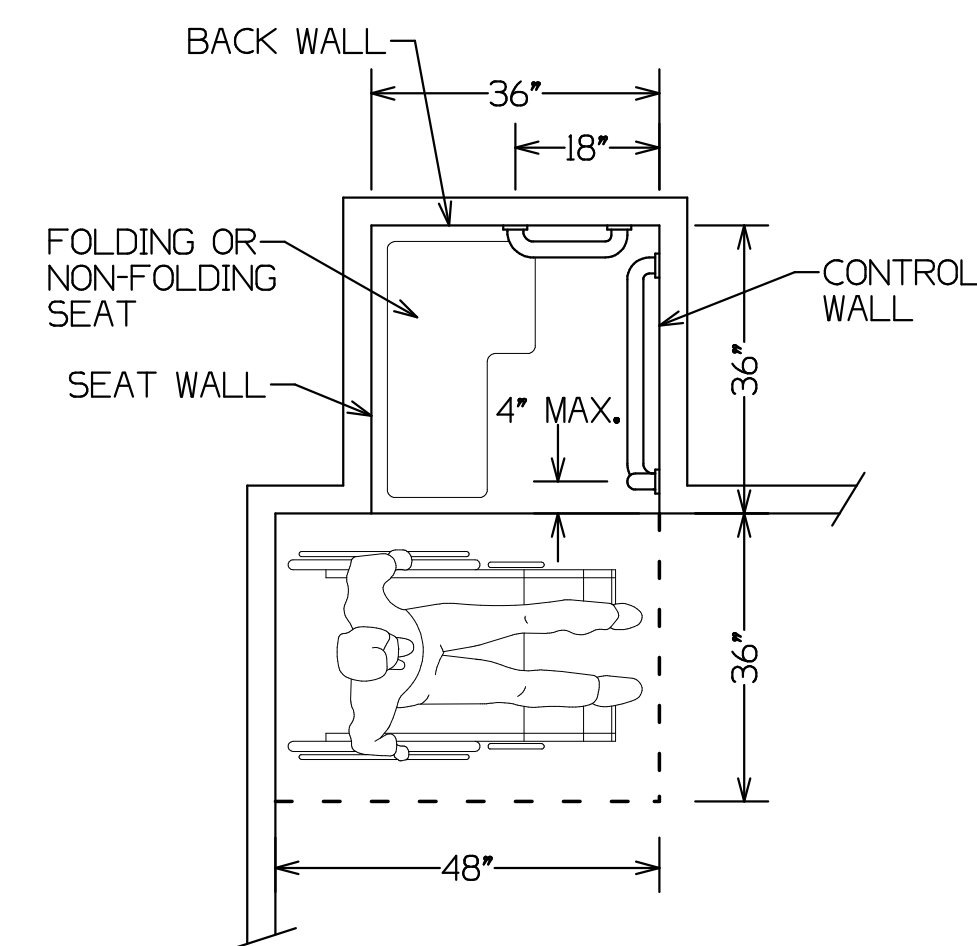
ROLL-IN SHOWER WITH GRAB BAR &
AVAILABLE CONTROL LOCATIONS
REF. 608.3.2



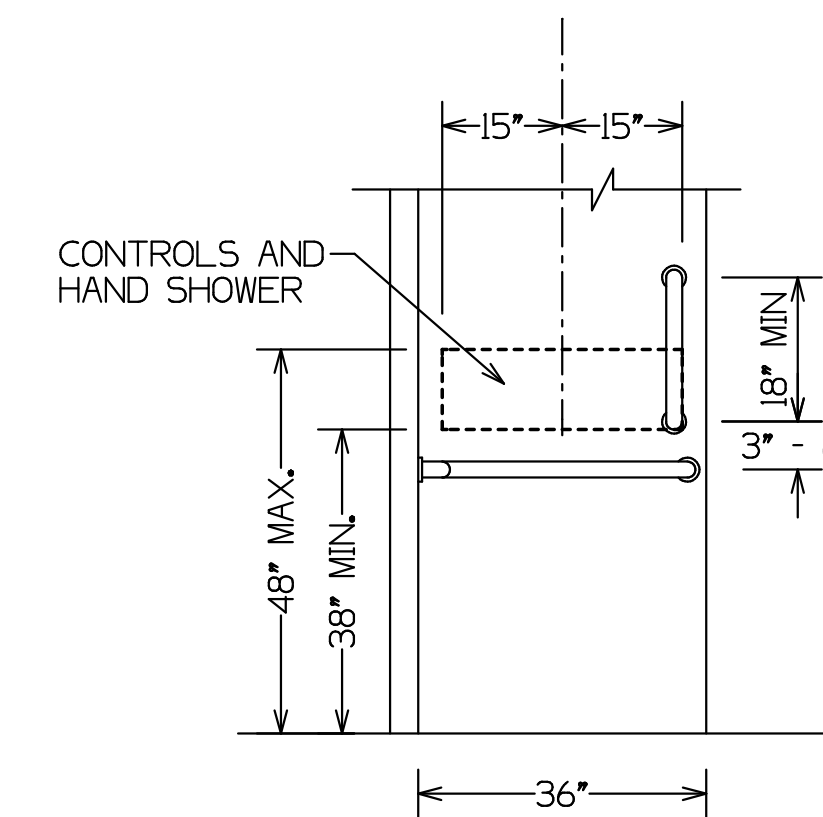
CLEAR FLOOR SPACE
AND GRAB BAR LOCATIONS
AT ROLL-IN SHOWER
WITH FOLD DOWN SEAT
REF. 608.2.2, 608.3.2



ROLL-IN SHOWER WITH
FOLD DOWN SEAT
WITH GRAB BAR &
CONTROL LOCATION
REF. 608.3.2

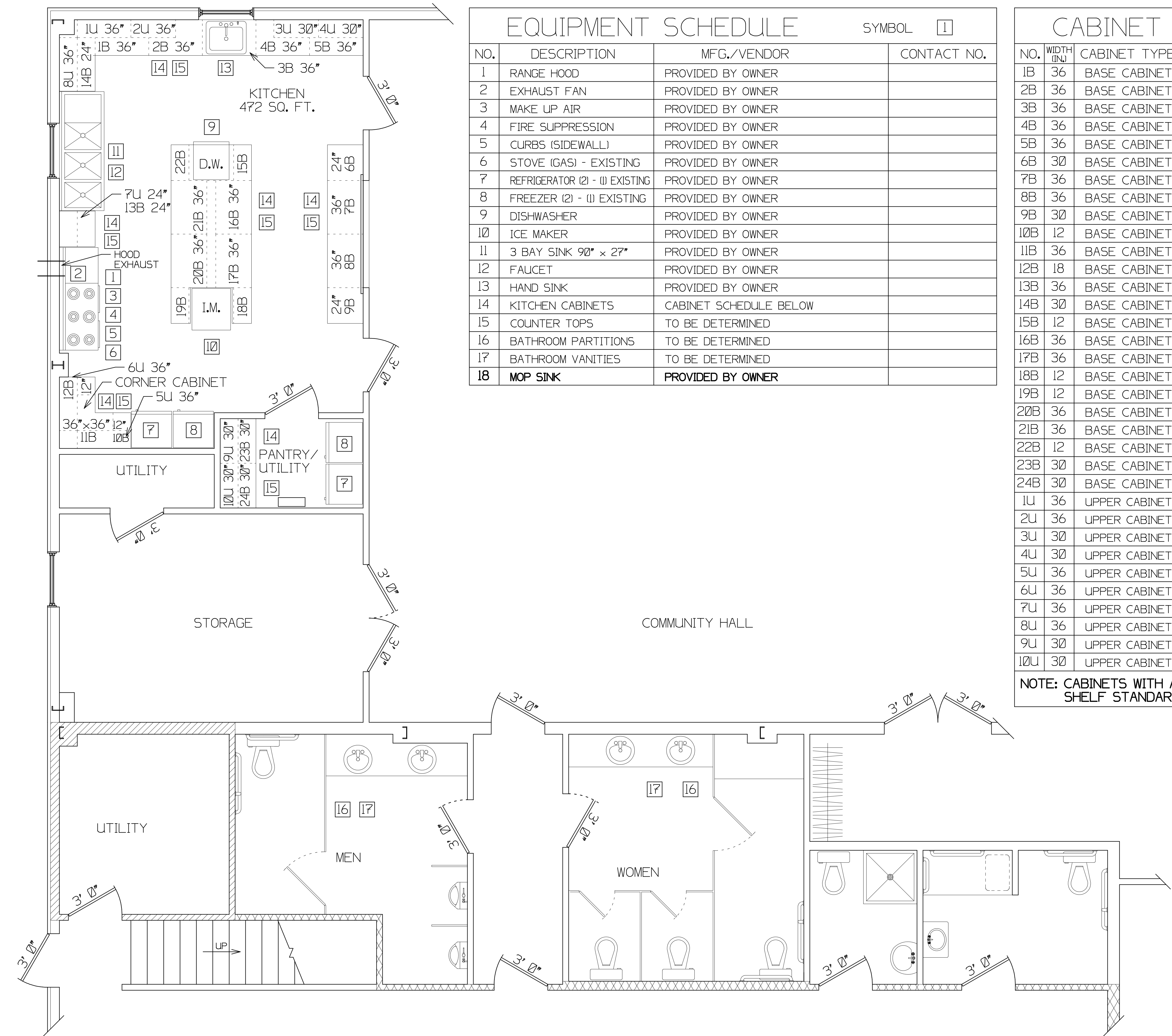


CLEAR FLOOR SPACE
AND GRAB BAR LOCATIONS
AT TRANSFER-TYPE SHOWER
REF. 608.2.1, 608.3.1



CONTROL WALL WITH
GRAB BAR &
CONTROL LOCATIONS
REF. 608.3.1, 608.5.1

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EQUIPMENT SCHEDULE			
			SYMBOL 1
NO.	DESCRIPTION	MFG./VENDOR	CONTACT NO.
1	RANGE HOOD	PROVIDED BY OWNER	
2	EXHAUST FAN	PROVIDED BY OWNER	
3	MAKE UP AIR	PROVIDED BY OWNER	
4	FIRE SUPPRESSION	PROVIDED BY OWNER	
5	CURBS (SIDEWALL)	PROVIDED BY OWNER	
6	STOVE (GAS) - EXISTING	PROVIDED BY OWNER	
7	REFRIGERATOR (2) - (1) EXISTING	PROVIDED BY OWNER	
8	FREEZER (2) - (1) EXISTING	PROVIDED BY OWNER	
9	DISHWASHER	PROVIDED BY OWNER	
10	ICE MAKER	PROVIDED BY OWNER	
11	3 BAY SINK 90" x 27"	PROVIDED BY OWNER	
12	FAUCET	PROVIDED BY OWNER	
13	HAND SINK	PROVIDED BY OWNER	
14	KITCHEN CABINETS	CABINET SCHEDULE BELOW	
15	COUNTER TOPS	TO BE DETERMINED	
16	BATHROOM PARTITIONS	TO BE DETERMINED	
17	BATHROOM VANITIES	TO BE DETERMINED	
18	MOP SINK	PROVIDED BY OWNER	

CABINET SCHEDULE				
NO.	WIDTH (IN.)	CABINET TYPE	DESCRIPTION	FINISH/MATERIAL
1B	36	BASE CABINET	1 DRAWER, 1 ADJUSTABLE SHELF	TO BE DETERMINED
2B	36	BASE CABINET	NO SHELVES	TO BE DETERMINED
3B	36	BASE CABINET	4 DRAWER	TO BE DETERMINED
4B	36	BASE CABINET	1 DRAWER, 1 ADJUSTABLE SHELF	TO BE DETERMINED
5B	36	BASE CABINET	2 SLIDE OUT SHELVES	TO BE DETERMINED
6B	30	BASE CABINET	2 SLIDE OUT SHELVES	TO BE DETERMINED
7B	36	BASE CABINET	1 DRAWER, 1 ADJUSTABLE SHELF	TO BE DETERMINED
8B	36	BASE CABINET	1 ADJUSTABLE SHELF, CORNER	TO BE DETERMINED
9B	30	BASE CABINET	1 DRAWER, 1 ADJUSTABLE SHELF	TO BE DETERMINED
10B	12	BASE CABINET	1 DRAWER, 1 ADJUSTABLE SHELF	TO BE DETERMINED
11B	36	BASE CABINET	1 ADJUSTABLE SHELF, CORNER	TO BE DETERMINED
12B	18	BASE CABINET	2 DEEP DRAWERS	TO BE DETERMINED
13B	36	BASE CABINET	2 DEEP DRAWERS	TO BE DETERMINED
14B	30	BASE CABINET	2 DEEP DRAWERS	TO BE DETERMINED
15B	12	BASE CABINET	36" x 84" PANTRY CABINET	TO BE DETERMINED
16B	36	BASE CABINET	36" x 84" PANTRY CABINET	TO BE DETERMINED
17B	36	BASE CABINET	36" x 84" PANTRY CABINET	TO BE DETERMINED
18B	12	BASE CABINET	4 DRAWER	TO BE DETERMINED
19B	12	BASE CABINET	2 DEEP DRAWERS	TO BE DETERMINED
20B	36	BASE CABINET	2 DEEP DRAWERS	TO BE DETERMINED
21B	36	BASE CABINET	4 DRAWER	TO BE DETERMINED
22B	12	BASE CABINET	4 DRAWER	TO BE DETERMINED
23B	30	BASE CABINET	4 DRAWER	TO BE DETERMINED
24B	30	BASE CABINET	4 DRAWER	TO BE DETERMINED
1U	36	UPPER CABINET	ADJUSTABLE SHELF	TO BE DETERMINED
2U	36	UPPER CABINET	ADJUSTABLE SHELF	TO BE DETERMINED
3U	30	UPPER CABINET	ADJUSTABLE SHELF	TO BE DETERMINED
4U	30	UPPER CABINET	ADJUSTABLE SHELF	TO BE DETERMINED
5U	36	UPPER CABINET	ADJUSTABLE SHELF	TO BE DETERMINED
6U	36	UPPER CABINET	ADJUSTABLE SHELF	TO BE DETERMINED
7U	36	UPPER CABINET	ADJUSTABLE SHELF	TO BE DETERMINED
8U	36	UPPER CABINET	ADJUSTABLE SHELF	TO BE DETERMINED
9U	30	UPPER CABINET	ADJUSTABLE SHELF	TO BE DETERMINED
10U	30	UPPER CABINET	ADJUSTABLE SHELF	TO BE DETERMINED

NOTE: CABINETS WITH ADJUSTABLE SHELIVING TO HAVE RECESSED METAL SHELF STANDARDS WITH METAL SHELF CLIPS

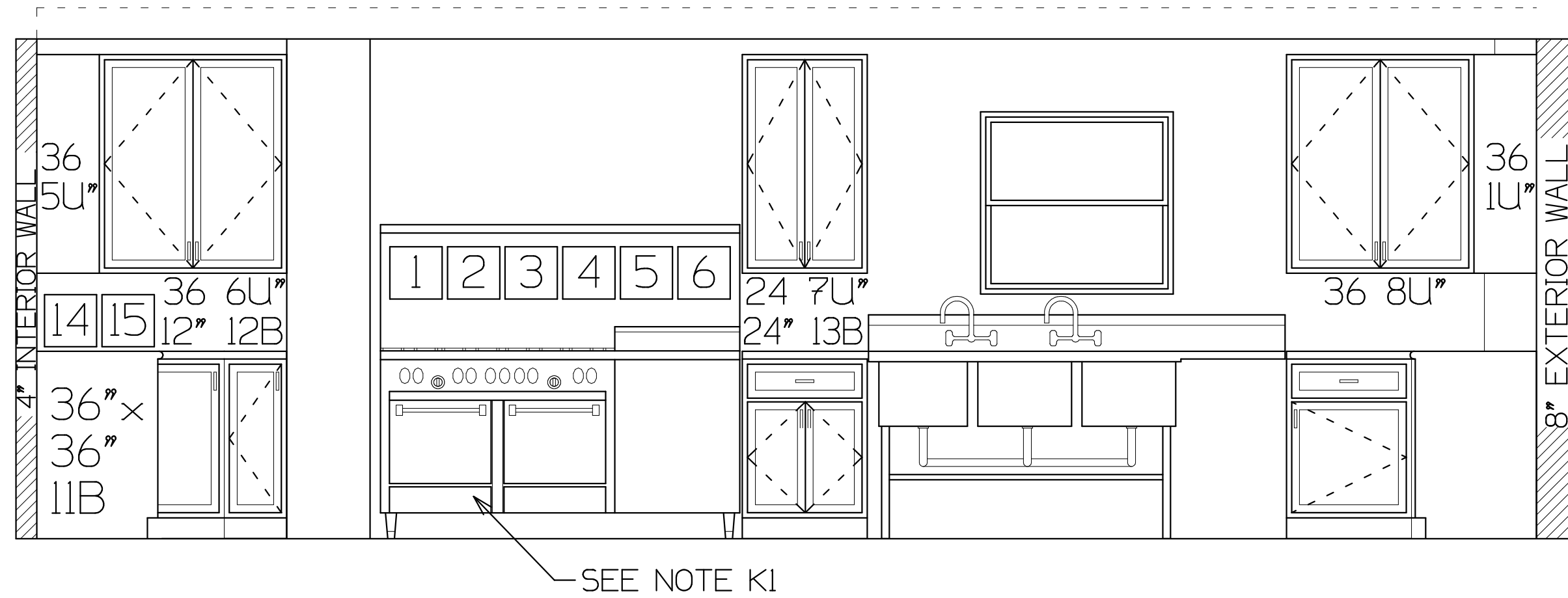
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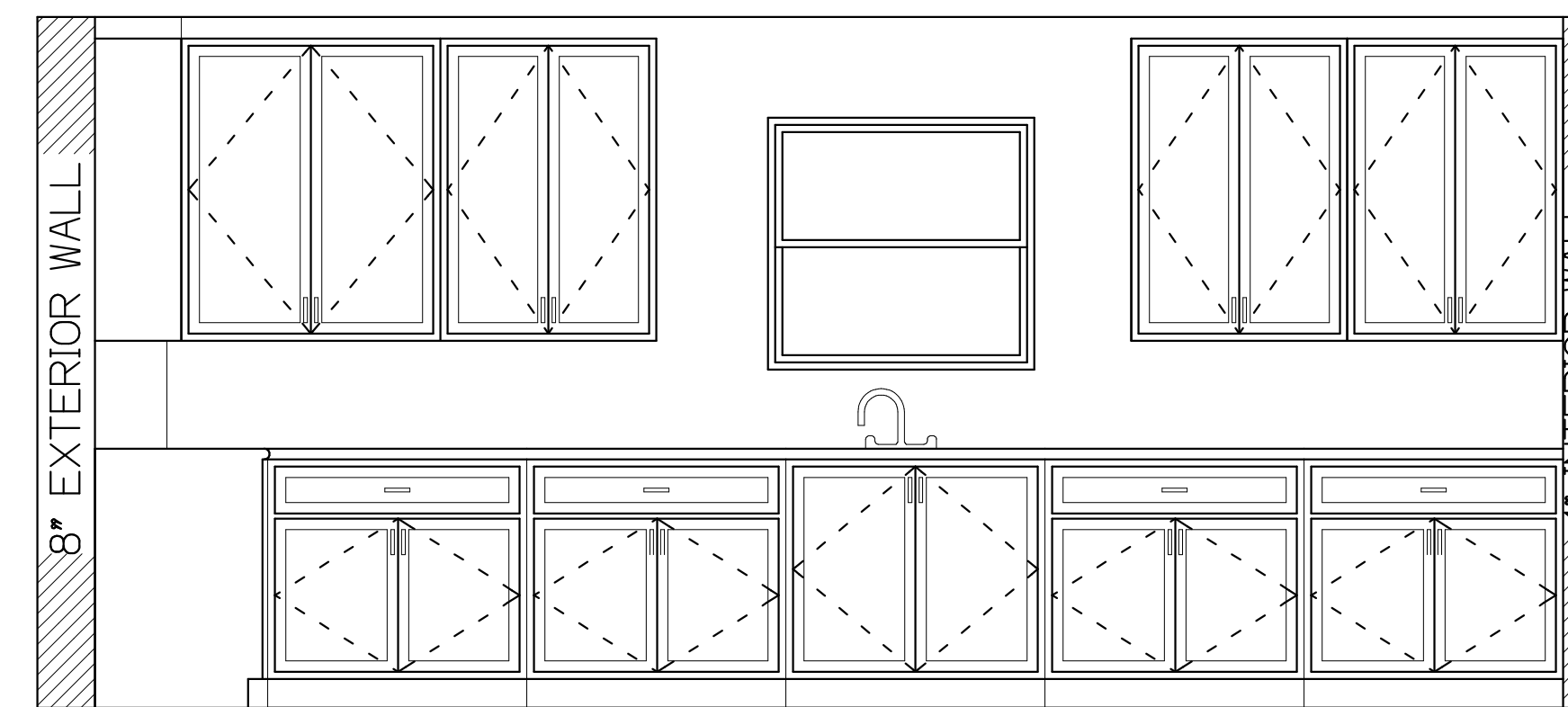
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DWG NO.	16025	
SCALE	3/8" = 1' 0"	DRAWN BY: MS
DATE	07 JUL 17	SHEET K1

FIRE STATION ADDITION AND RENOVATION
NICHOLS JOINT FIRE DISTRICT
106 W. RIVER ROAD
VILLAGE OF NICHOLS
TIOGA COUNTY, NEW YORK

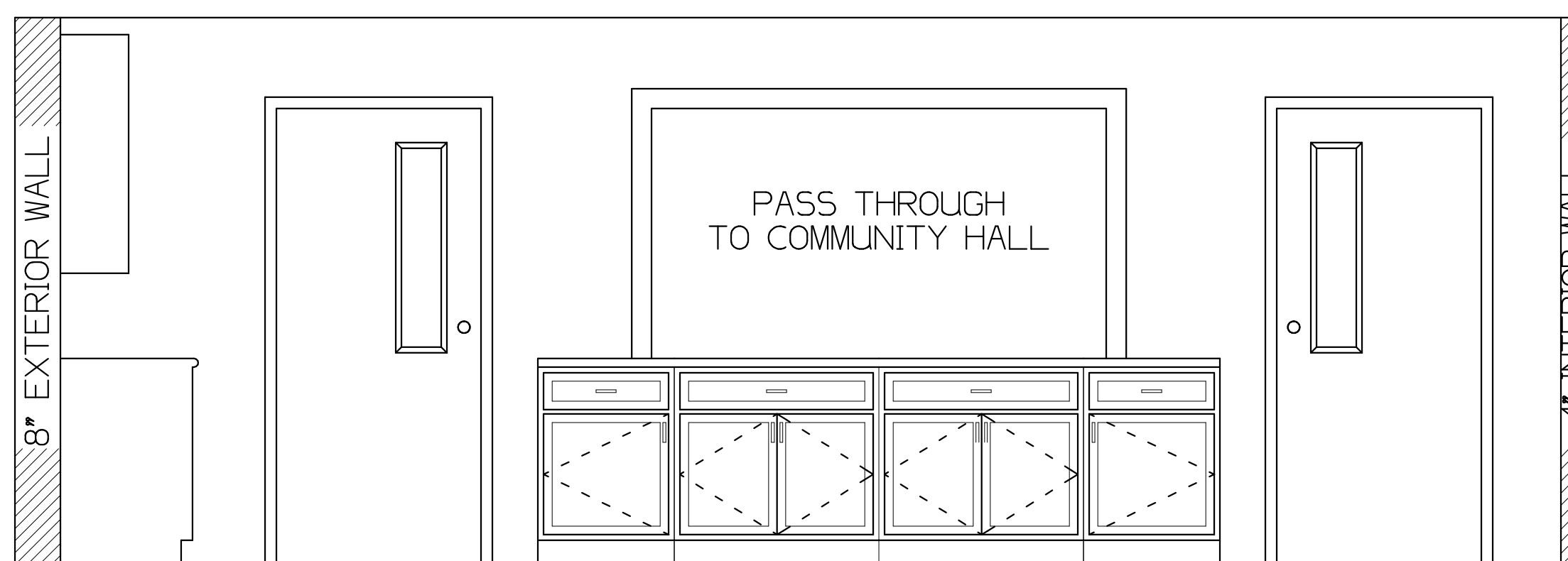
McIlwain
Engineering
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NEWARK VALLEY, NEW YORK 13811
607-642-5500 MCELWAINENGINEERING@YAHOO.COM



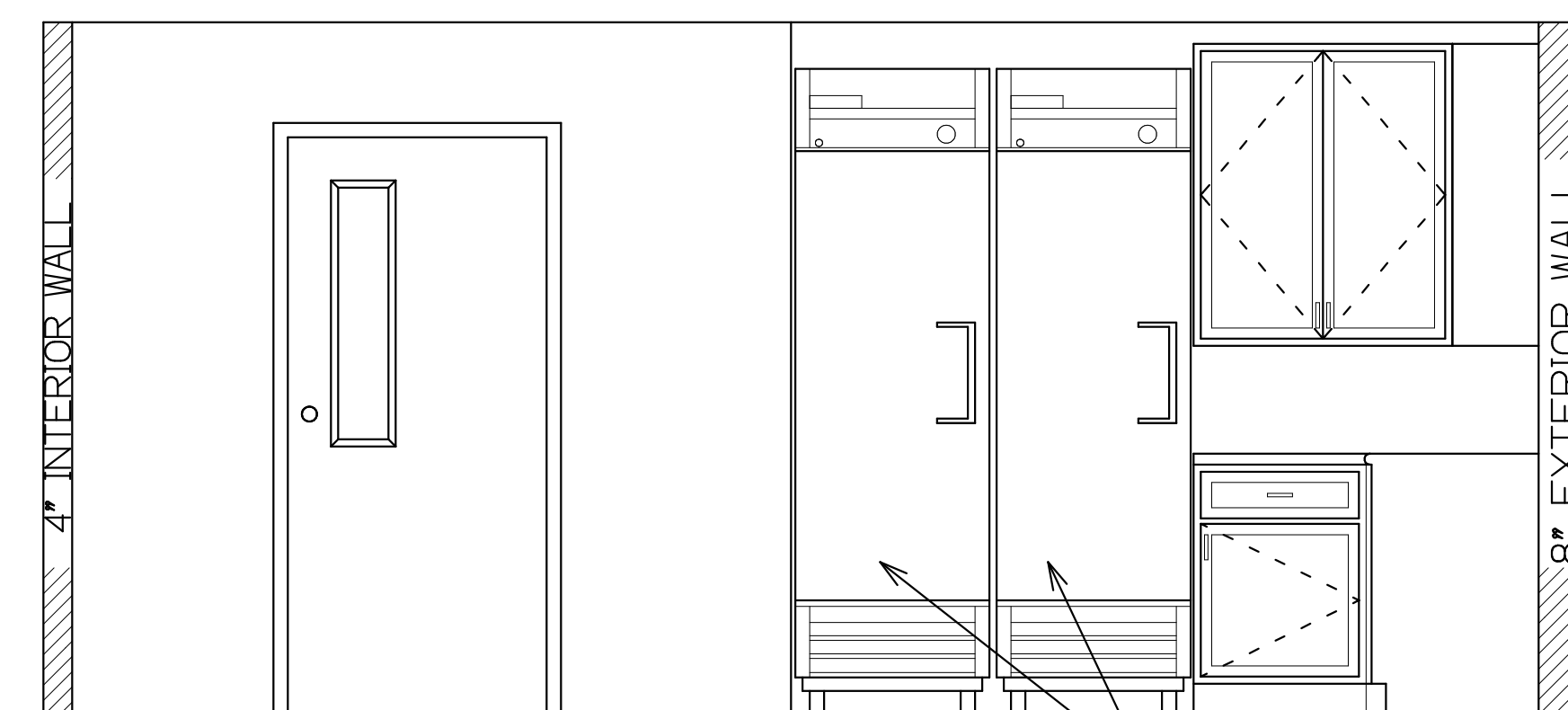
EAST ELEVATION



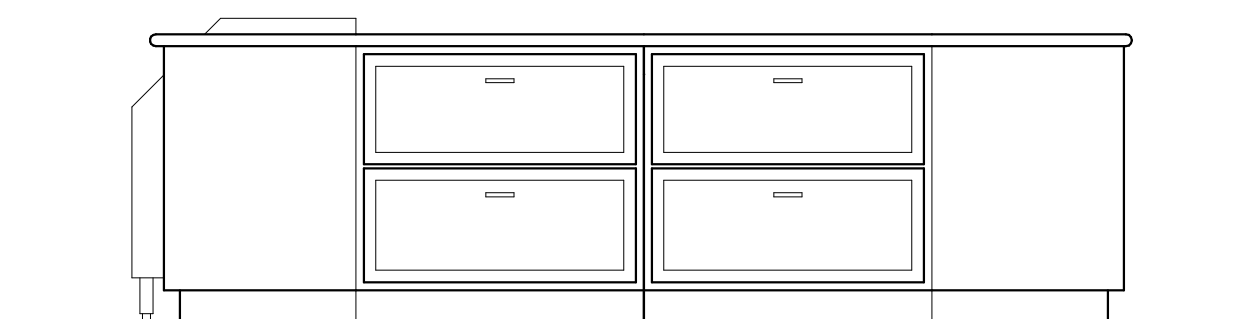
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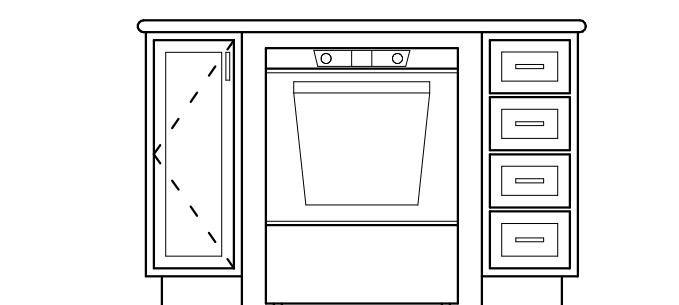
WEST ELEVATION



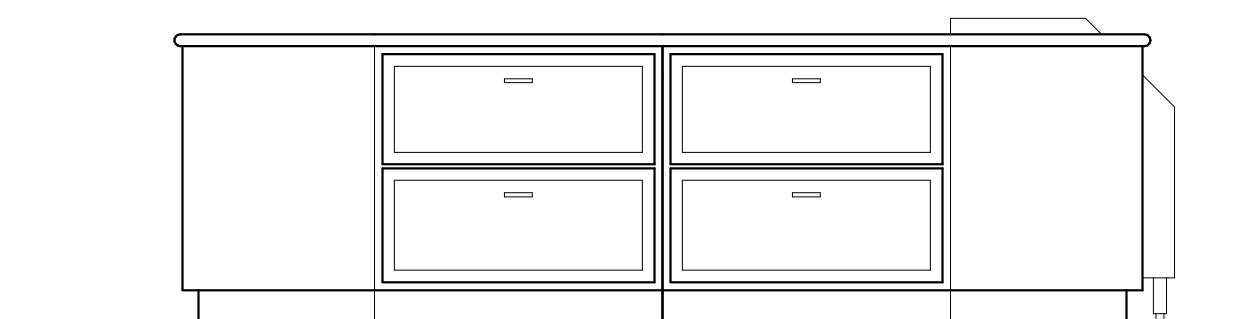
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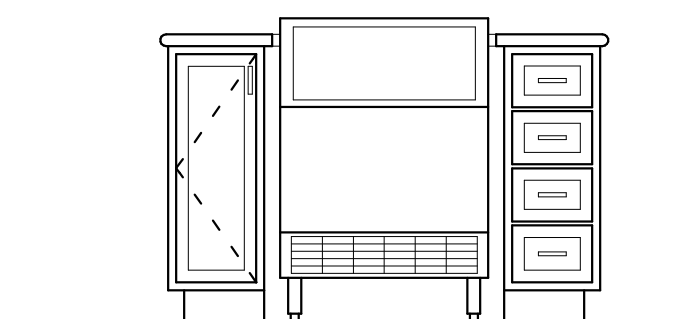
ISLAND WEST
SIDE ELEVATION



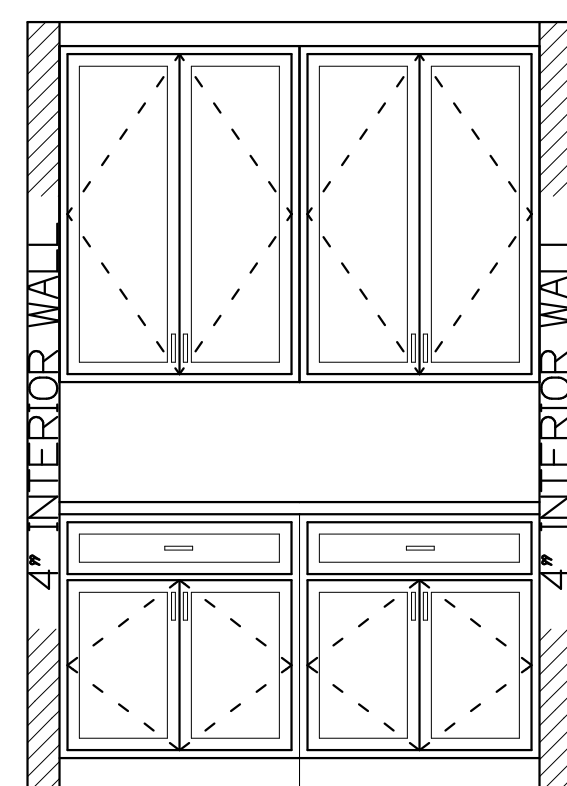
ISLAND SOUTH
END ELEVATION



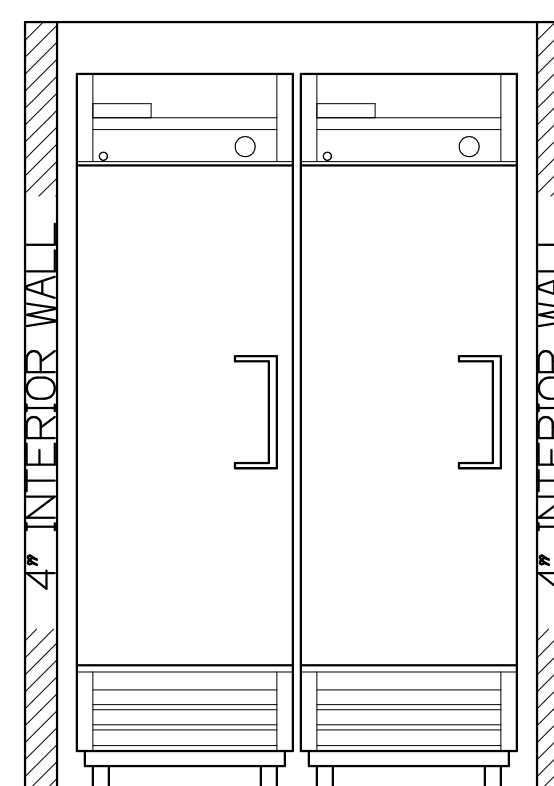
ISLAND EAST
SIDE ELEVATION



ISLAND NORTH
END ELEVATION



PANTRY/UTILITY
WEST ELEVATION



PANTRY/UTILITY
EAST ELEVATION

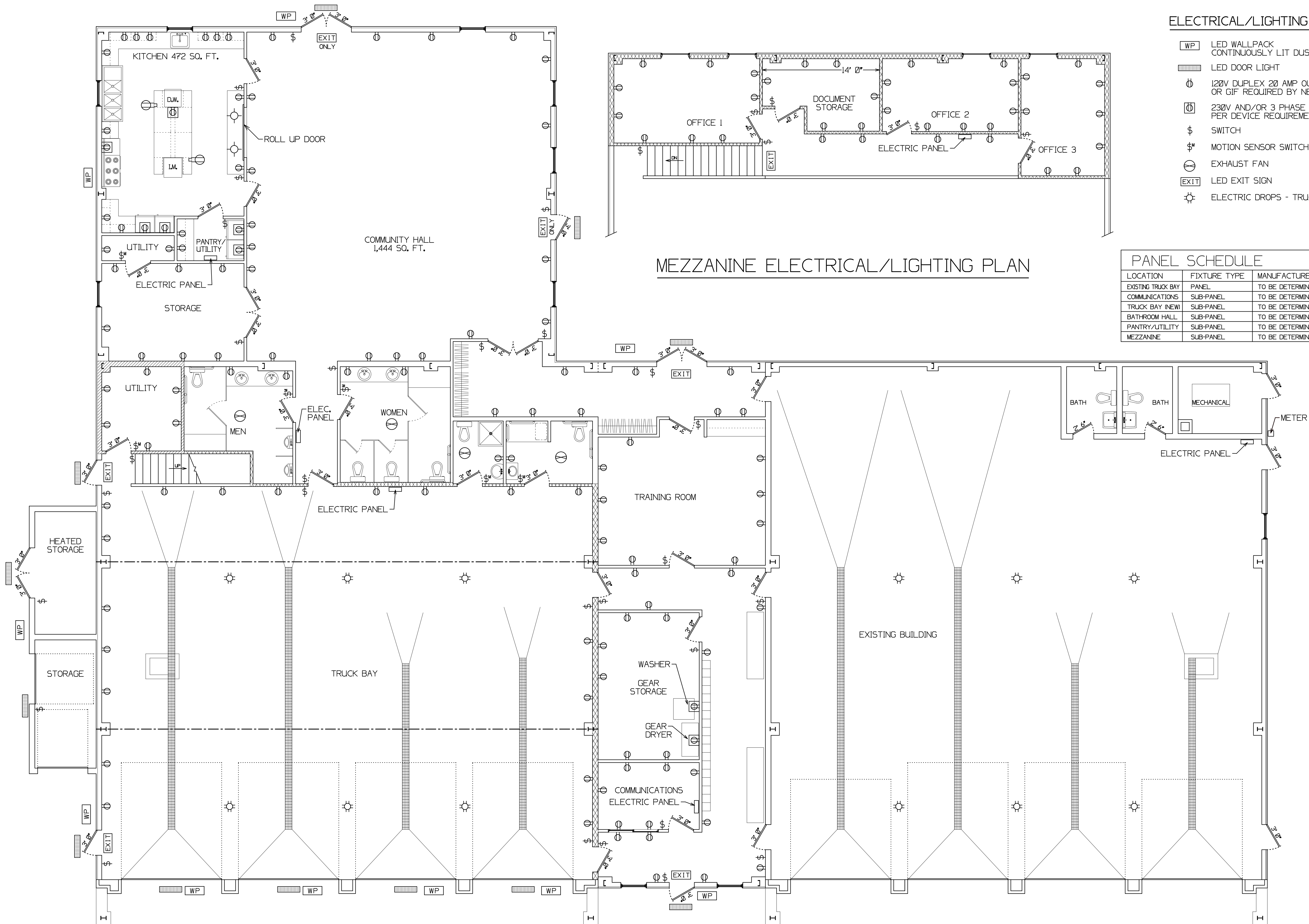
PRELIMINARY DRAWING
NOT FOR CONSTRUCTION

GENERAL NOTES
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3. PLOTTING AND REPRODUCTION PROCESSES DO NOT ALWAYS MAINTAIN DIMENSIONAL ACCURACY. DO NOT ATTEMPT TO SCALE DIMENSIONS FROM THIS DRAWING.

KITCHEN ELEVATIONS	
DWG NO: 16025	REV/DATE
SCALE: 1/2" = 1' 0"	DRAWN BY: MS
DATE: 07 JUL 17	SHEET: K2

FIRE STATION ADDITION AND RENOVATION
NICHOLS JOINT FIRE DISTRICT
106 W. RIVER ROAD, VILLAGE OF NICHOLS
TIOGA COUNTY, NEW YORK

McIlwain
Engineering
PO BOX 127, 5 PARK STREET
NEWARK VALLEY, NEW YORK 13811
607-642-5500 MCELWAINENGINEERING@YAHOO.COM



ELECTRICAL/LIGHTING LEGEND

- WP LED WALLPACK
CONTINUOUSLY LIT DUSK TO DAWN
- LED DOOR LIGHT
- 120V DUPLEX 20 AMP OUTLET
OR GFI REQUIRED BY NEC
- 230V AND/OR 3 PHASE OUTLET
PER DEVICE REQUIREMENT
- \$ SWITCH
- \$M MOTION SENSOR SWITCH
- EXHAUST FAN
- EXIT LED EXIT SIGN
- ELECTRIC DROPS - TRUCK BAY

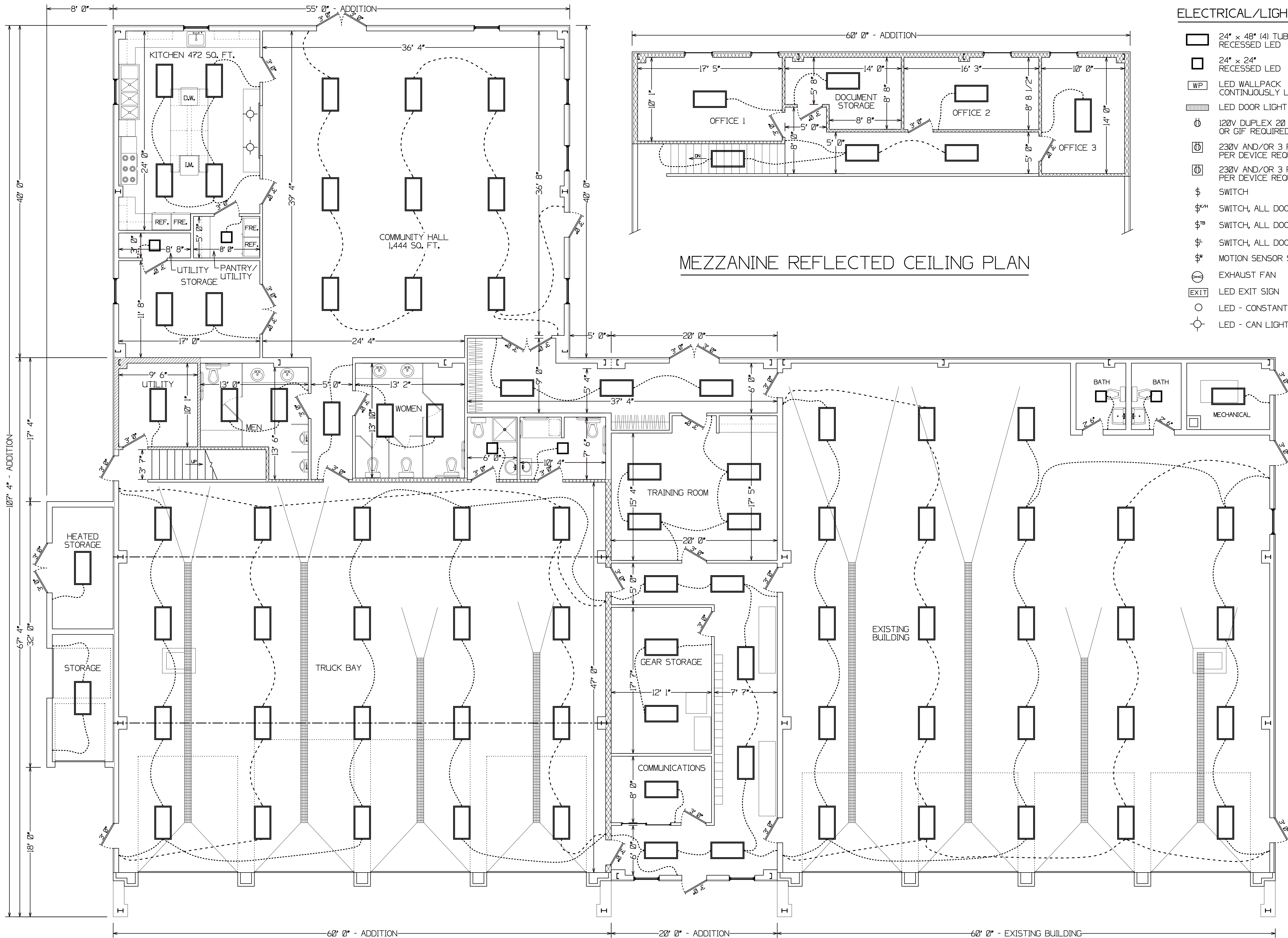
PANEL SCHEDULE

LOCATION	FIXTURE TYPE	MANUFACTURER	SPECIFICATIONS
EXISTING TRUCK BAY	PANEL	TO BE DETERMINED	200-400 AMP
COMMUNICATIONS	SUB-PANEL	TO BE DETERMINED	200 AMP
TRUCK BAY (NEW)	SUB-PANEL	TO BE DETERMINED	200 AMP
BATHROOM HALL	SUB-PANEL	TO BE DETERMINED	200 AMP
PANTRY/UTILITY	SUB-PANEL	TO BE DETERMINED	200 AMP
MEZZANINE	SUB-PANEL	TO BE DETERMINED	200 AMP

FIRST FLOOR ELECTRICAL/LIGHTING PLAN

GENERAL NOTES

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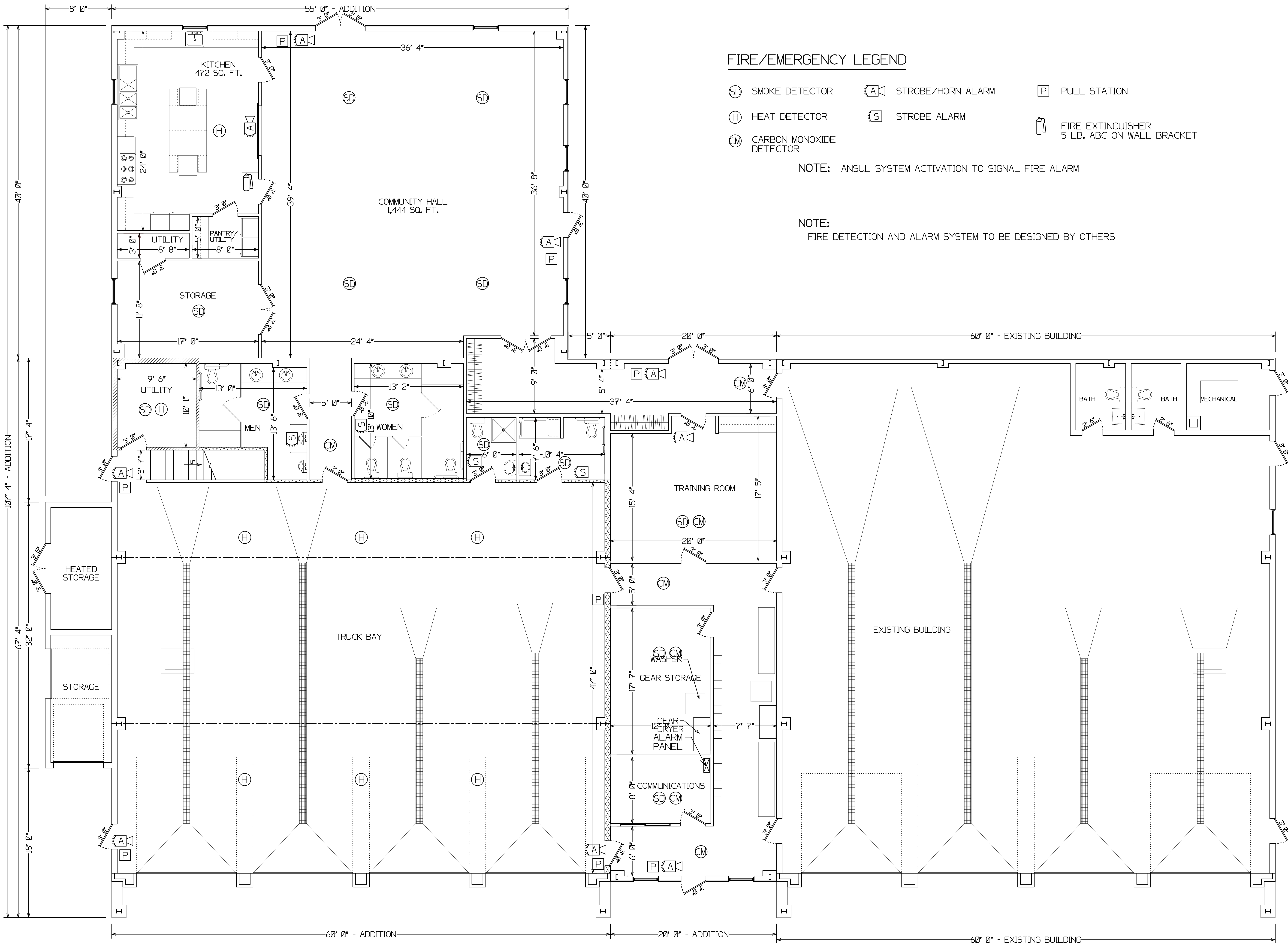
ELECTRICAL/LIGHTING LEGEND

- 24" x 48" (4) TUBE RECESSED LED
- 24" x 24" RECESSED LED
- WP LED WALLPACK CONTINUOUSLY LIT DUSK TO DAWN
- LED DOOR LIGHT
- 120V DUPLEX 20 AMP OUTLET OR GFI REQUIRED BY NEC
- 230V AND/OR 3 PHASE OUTLET PER DEVICE REQUIREMENT
- 230V AND/OR 3 PHASE OUTLET PER DEVICE REQUIREMENT
- SWITCH
- SWITCH, ALL DOORS, KITCHEN, HALL
- SWITCH, ALL DOORS, TRUCK BAYS
- SWITCH, ALL DOORS, LOUNGE/TRAINING AREA
- MOTION SENSOR SWITCH
- EXHAUST FAN
- LED EXIT SIGN
- LED - CONSTANT LIGHTING
- LED - CAN LIGHT

MEZZANINE REFLECTED CEILING PLAN

FIRST FLOOR REFLECTED CEILING PLAN

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FIRE/EMERGENCY LEGEND

- SD SMOKE DETECTOR A STROBE/HORN ALARM P PULL STATION
H HEAT DETECTOR S STROBE ALARM E FIRE EXTINGUISHER
CM CARBON MONOXIDE DETECTOR 5 LB. ABC ON WALL BRACKET

NOTE: ANSUL SYSTEM ACTIVATION TO SIGNAL FIRE ALARM

NOTE:
FIRE DETECTION AND ALARM SYSTEM TO BE DESIGNED BY OTHERS

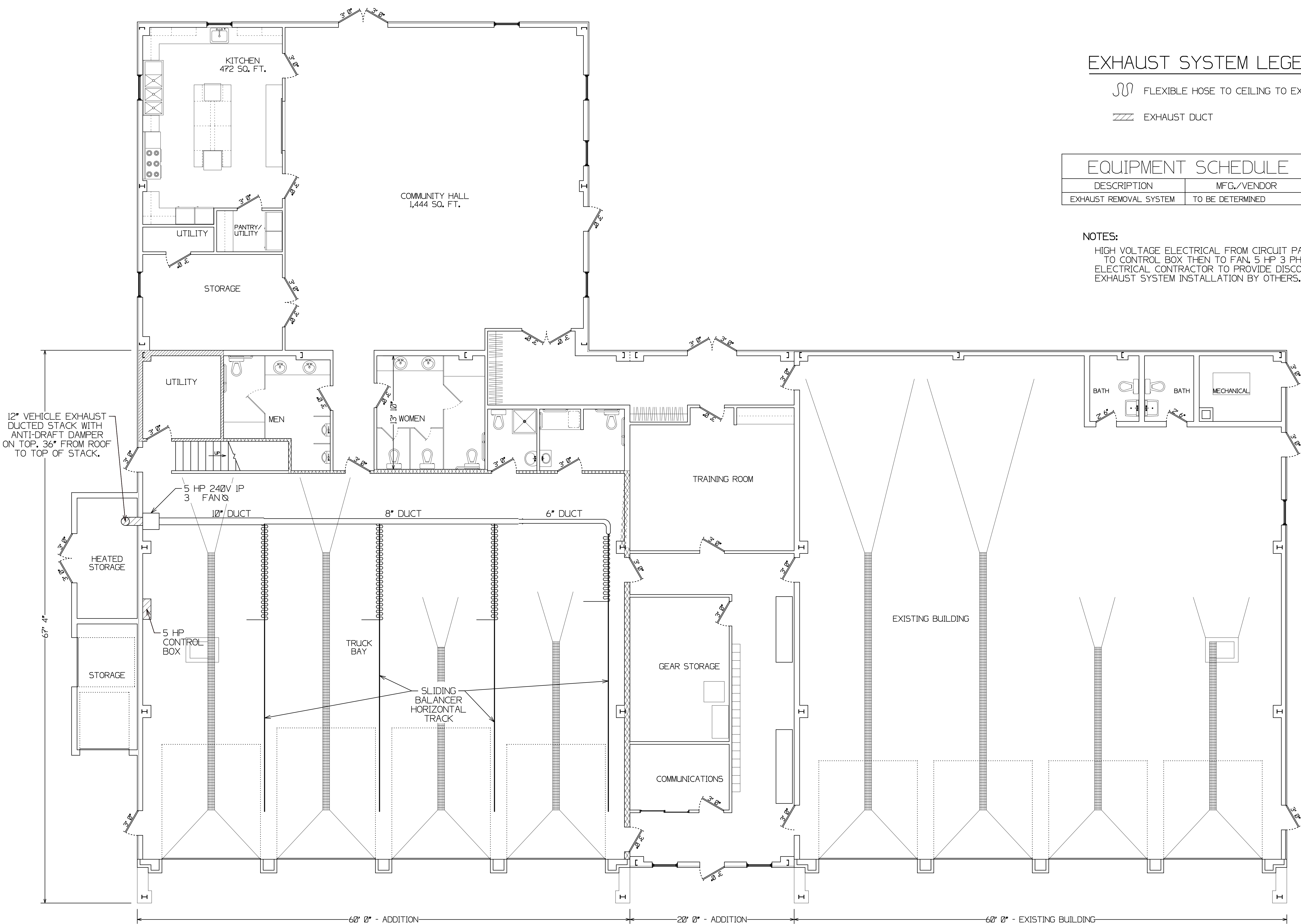
LIFE SAFETY PLAN

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FIRE STATION ADDITION AND RENOVATION
NICHOLS JOINT FIRE DISTRICT
106 W. RIVER ROAD, VILLAGE OF NICHOLS
TIOGA COUNTY, NEW YORK

LIFE SAFETY PLAN	REV/DATE	MS	F1
DWG NO: 16025			
SCALE: 3/16" = 1' 0"	DRAWN BY:		
DATE: 07 JUL 17			



12" VEHICLE EXHAUST
DUCTED STACK WITH
ANTI-DRAFT DAMPER
ON TOP. 36" FROM ROOF
TO TOP OF STACK.

KITCHEN
472 SQ. FT.

COMMUNITY HALL
1,444 SQ. FT.

UTILITY

PANTRY/
UTILITY

STORAGE

UTILITY

MEN

WOMEN

TRAINING ROOM

HEATED
STORAGE

STORAGE

TRUCK
BAY

GEAR STORAGE

COMMUNICATIONS

BATH

BATH

MECHANICAL

EXHAUST REMOVAL PLAN

EXHAUST SYSTEM LEGEND

Flexible hose to ceiling to exhaust

EXHAUST DUCT

EQUIPMENT SCHEDULE

DESCRIPTION	MFG./VENDOR	CONTACT NO.
EXHAUST REMOVAL SYSTEM	TO BE DETERMINED	

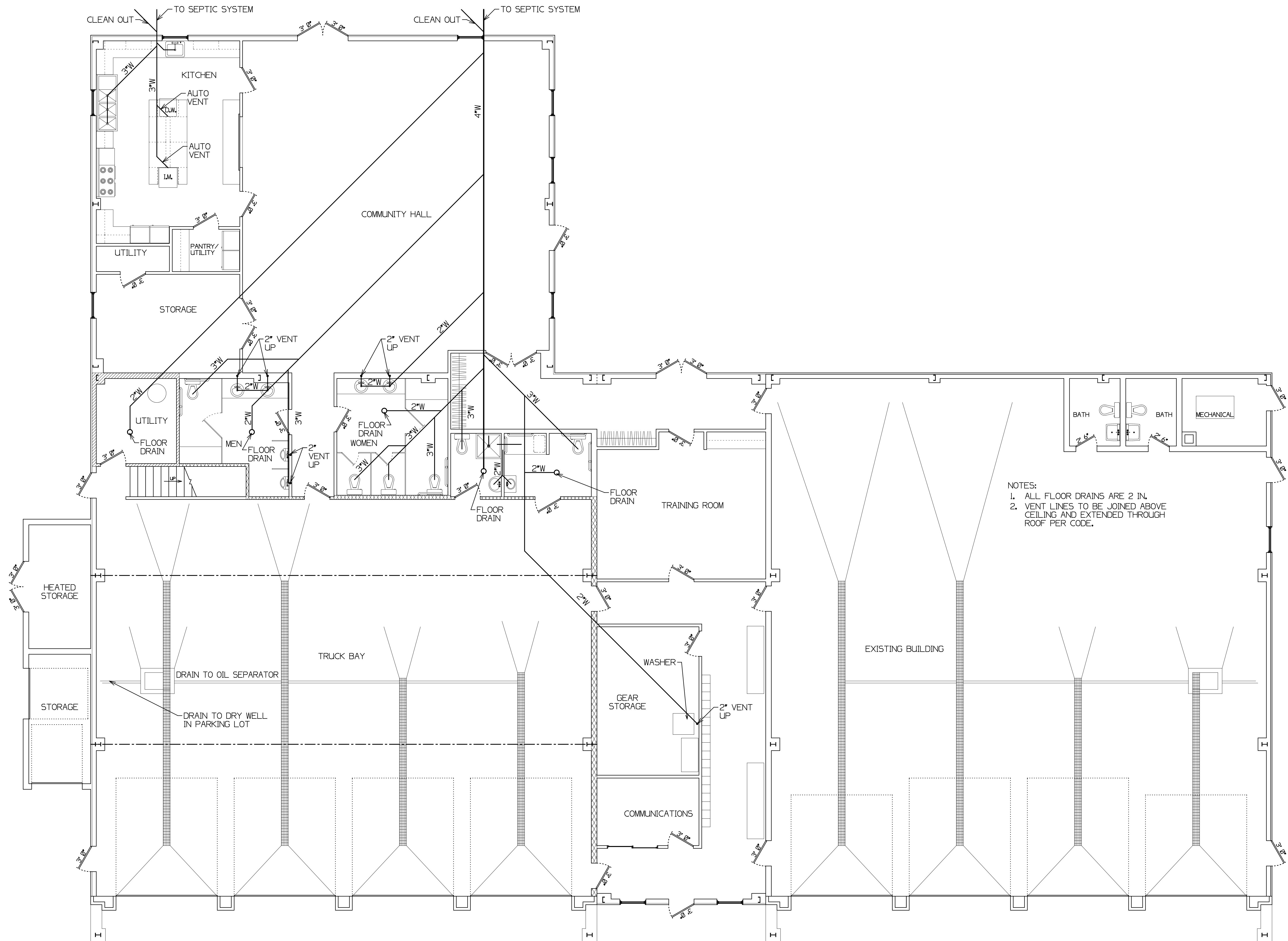
NOTES:
HIGH VOLTAGE ELECTRICAL FROM CIRCUIT PANEL
TO CONTROL BOX THEN TO FAN. 5 HP 3 PH. 13 AMPS.
ELECTRICAL CONTRACTOR TO PROVIDE DISCONNECT ONLY.
EXHAUST SYSTEM INSTALLATION BY OTHERS.

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FIRE STATION ADDITION AND RENOVATION
NICHOLS JOINT FIRE DISTRICT
106 W. RIVER ROAD, VILLAGE OF NICHOLS
TIOGA COUNTY, NEW YORK

EXHAUST REMOVAL PLAN	
DWG NO	16025
SCALE	3/16" = 1' 0"
DATE	07 JUL 17
DRAWN BY	MS
SHEET 11	



NOTES:
 1. ALL FLOOR DRAINS ARE 2 IN.
 2. VENT LINES TO BE JOINED ABOVE CEILING AND EXTENDED THROUGH ROOF PER CODE.

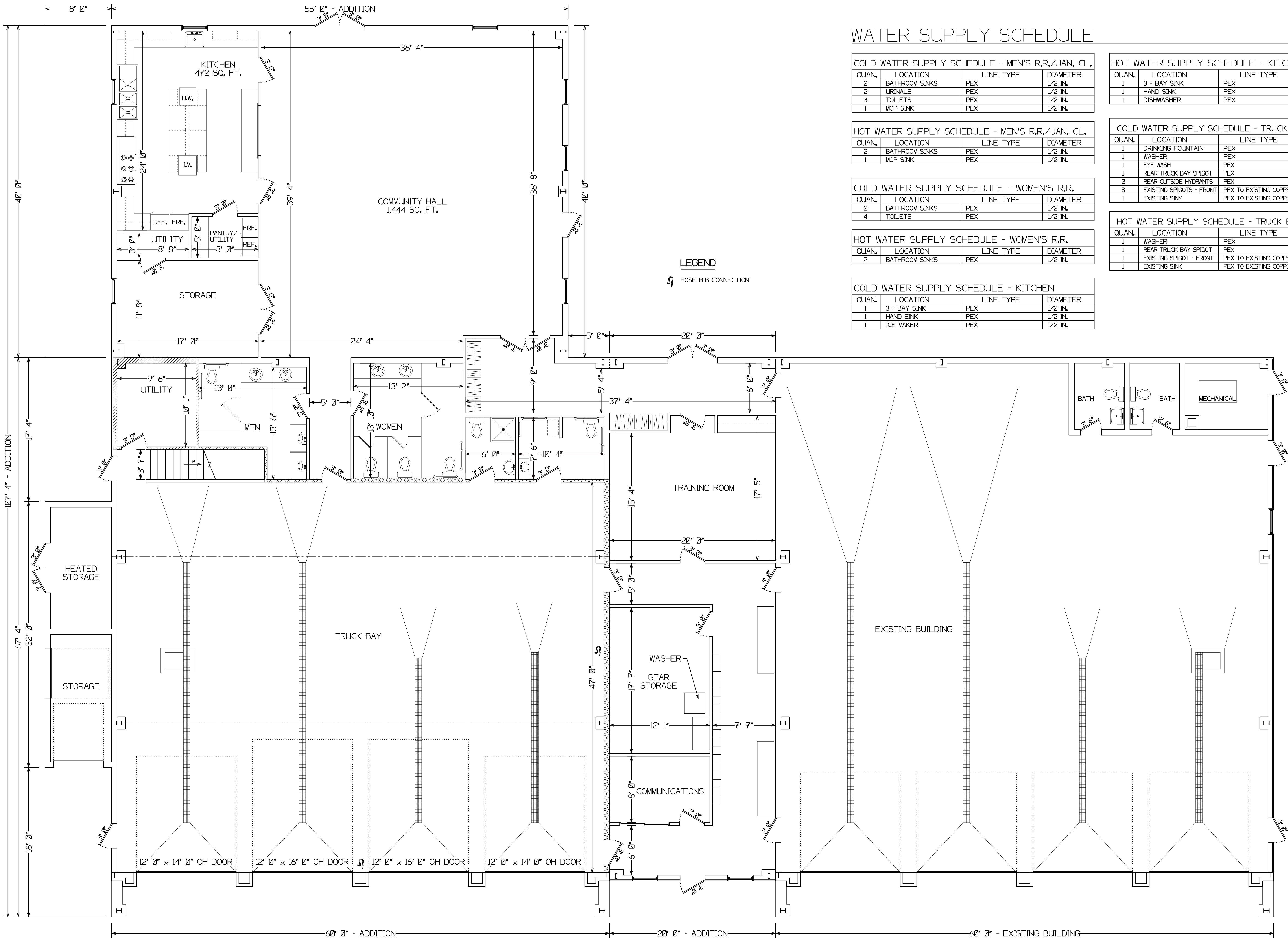
FIRST FLOOR PLUMBING WASTE PLAN

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FIRE STATION ADDITION AND RENOVATION
 NICHOLS JOINT FIRE DISTRICT
 106 W. RIVER ROAD, VILLAGE OF NICHOLS
 TIoga COUNTY, NEW YORK

PLUMBING PLAN	REVISED
DWG NO. 16025	DRAWN BY MS
SCALE 3/16" = 1' 0"	DATE 07 JUL 17
	SHEET P1



WATER SUPPLY SCHEDULE

COLD WATER SUPPLY SCHEDULE - MEN'S R.R./JAN. CL.			
QUAN.	LOCATION	LINE TYPE	DIAMETER
2	BATHROOM SINKS	PEX	1/2 IN.
2	URINALS	PEX	1/2 IN.
3	TOILETS	PEX	1/2 IN.
1	MOP SINK	PEX	1/2 IN.

HOT WATER SUPPLY SCHEDULE - MEN'S R.R./JAN. CL.			
QUAN.	LOCATION	LINE TYPE	DIAMETER
2	BATHROOM SINKS	PEX	1/2 IN.
1	MOP SINK	PEX	1/2 IN.

COLD WATER SUPPLY SCHEDULE - WOMEN'S R.R.			
QUAN.	LOCATION	LINE TYPE	DIAMETER
2	BATHROOM SINKS	PEX	1/2 IN.
4	TOILETS	PEX	1/2 IN.

HOT WATER SUPPLY SCHEDULE - WOMEN'S R.R.			
QUAN.	LOCATION	LINE TYPE	DIAMETER
2	BATHROOM SINKS	PEX	1/2 IN.

COLD WATER SUPPLY SCHEDULE - KITCHEN			
QUAN.	LOCATION	LINE TYPE	DIAMETER
1	3 - BAY SINK	PEX	1/2 IN.
1	HAND SINK	PEX	1/2 IN.
1	ICE MAKER	PEX	1/2 IN.

HOT WATER SUPPLY SCHEDULE - KITCHEN			
QUAN.	LOCATION	LINE TYPE	DIAMETER
1	3 - BAY SINK	PEX	1/2 IN.
1	HAND SINK	PEX	1/2 IN.
1	DISHWASHER	PEX	1/2 IN.

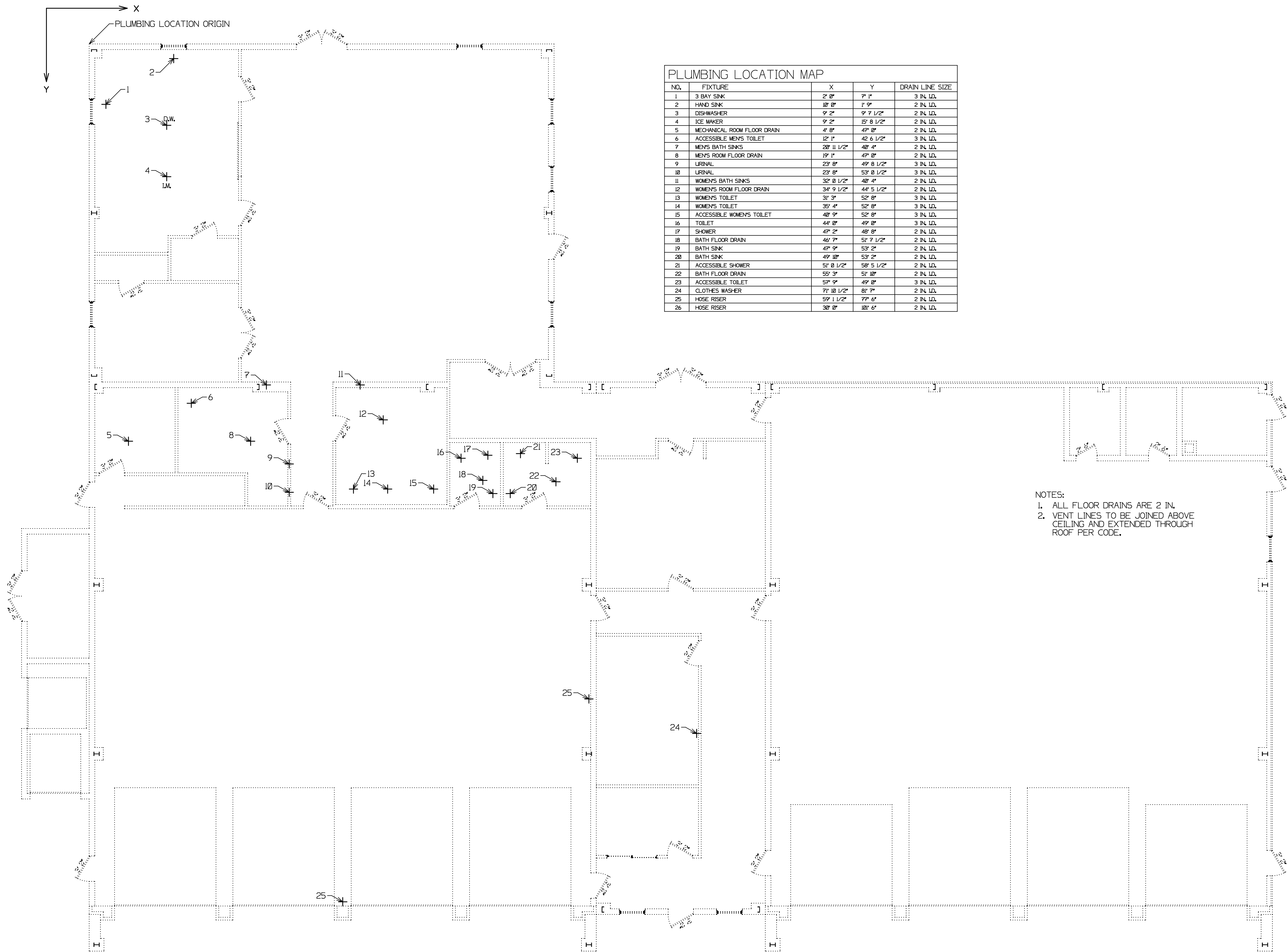
COLD WATER SUPPLY SCHEDULE - TRUCK BAY/LOUNGE			
QUAN.	LOCATION	LINE TYPE	DIAMETER
1	DRINKING FOUNTAIN	PEX	1/2 IN.
1	WASHER	PEX	3/4 IN.
1	EYE WASH	PEX	3/4 IN.
1	REAR TRUCK BAY SPIGOT	PEX	3/4 IN.
2	REAR OUTSIDE HYDRANTS	PEX	3/4 IN.
3	EXISTING SPIGOTS - FRONT	PEX TO EXISTING COPPER	3/4 IN.
1	EXISTING SINK	PEX TO EXISTING COPPER	3/4 IN.

HOT WATER SUPPLY SCHEDULE - TRUCK BAY/LOUNGE			
QUAN.	LOCATION	LINE TYPE	DIAMETER
1	WASHER	PEX	3/4 IN.
1	REAR TRUCK BAY SPIGOT	PEX	3/4 IN.
1	EXISTING SPIGOT - FRONT	PEX TO EXISTING COPPER	3/4 IN.
1	EXISTING SINK	PEX TO EXISTING COPPER	3/4 IN.

LEGEND
S HOSE BIB CONNECTION

FIRST FLOOR WATER SUPPLY PLAN

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PLUMBING LOCATION MAP				
NO.	FIXTURE	X	Y	DRAIN LINE SIZE
1	3 BAY SINK	2' 0"	7' 1"	3 IN. LD.
2	HAND SINK	10' 0"	1' 9"	2 IN. LD.
3	DISHWASHER	9' 2"	9' 7 1/2"	2 IN. LD.
4	ICE MAKER	9' 2"	15' 8 1/2"	2 IN. LD.
5	MECHANICAL ROOM FLOOR DRAIN	4' 8"	47' 0"	2 IN. LD.
6	ACCESSIBLE MEN'S TOILET	12' 1"	42' 6 1/2"	3 IN. LD.
7	MEN'S BATH SINKS	20' 11 1/2"	40' 4"	2 IN. LD.
8	MEN'S ROOM FLOOR DRAIN	19' 1"	47' 0"	2 IN. LD.
9	URINAL	23' 8"	49' 8 1/2"	3 IN. LD.
10	URINAL	23' 8"	53' 0 1/2"	3 IN. LD.
11	WOMEN'S BATH SINKS	32' 0 1/2"	40' 4"	2 IN. LD.
12	WOMEN'S ROOM FLOOR DRAIN	34' 9 1/2"	44' 5 1/2"	2 IN. LD.
13	WOMEN'S TOILET	31' 3"	52' 8"	3 IN. LD.
14	WOMEN'S TOILET	35' 4"	52' 8"	3 IN. LD.
15	ACCESSIBLE WOMEN'S TOILET	40' 9"	52' 8"	3 IN. LD.
16	TOILET	44' 0"	49' 0"	3 IN. LD.
17	SHOWER	47' 2"	48' 8"	2 IN. LD.
18	BATH FLOOR DRAIN	46' 7"	51' 7 1/2"	2 IN. LD.
19	BATH SINK	47' 9"	53' 2"	2 IN. LD.
20	BATH SINK	49' 10"	53' 2"	2 IN. LD.
21	ACCESSIBLE SHOWER	51' 0 1/2"	58' 5 1/2"	2 IN. LD.
22	BATH FLOOR DRAIN	55' 3"	51' 10"	2 IN. LD.
23	ACCESSIBLE TOILET	57' 9"	49' 0"	3 IN. LD.
24	CLOTHES WASHER	71' 10 1/2"	81' 7"	2 IN. LD.
25	HOSE RISER	59' 1 1/2"	77' 6"	2 IN. LD.
26	HOSE RISER	30' 0"	101' 6"	2 IN. LD.

- NOTES:
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PLUMBING FIXTURE LOCATION PLAN

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PLUMBING FIXTURE LOCATION PLAN			
DWG NO.	16025	REV DATE	
SCALE	3/16" = 1' 0"	DRAWN BY	MS
DATE	07 JUL 17	SHEET	P3

Involved/Interested Agencies –Nichols Joint Fire Station, Village of Nichols

Involved

The Honorable Lesley Pelotte, Mayor
Village of Nichols
54 East River Road
Nichols, NY 13812

Kevin Engelbert, Town Supervisor
Town of Nichols
54 East River Road
Nichols, NY 13812

David Bimber, Regional Permit Administrator, Region 7
New York State Department of Environmental Conservation
615 Erie Blvd. West
Syracuse, NY 13204

Gary Hammond, P.E
Commissioner of Public Works
Tioga County Department of Public Works
477 Route 96
Owego NY 13827

Interested

Mr. Ron Rausch, Director
Environmental Management Bureau
Office of Parks, Recreation and Historic Preservation
625 Broadway, 2nd Floor
Albany, New York 12238

Mr. Richard Lord
Chief of Mitigation Programs & Agency Preservation Officer
NYS Division of Homeland Security & Emergency Services
1220 Washington Avenue
Bldg 7A, Floor 4
Albany NY 12242

John Strepelis, P.E., M.E.
Regional Environmental Health Director
NYS Department of Health
Central New York Regional Office
217 South Salina St.
Syracuse NY 13202

Wendy Walsh, Director
Tioga County Soil and Water Conservation District
183 Corporate Drive
Owego, NY 13827

Andrea Klett, County Clerk
Tioga County
16 Court Street
P.O. Box 307
Owego, NY 13827

Mike Simmons
Director of Emergency Management
Tioga County
103 Corporate Drive
Owego, NY 13827

Frank Okrasinski, Fire Coordinator
Tioga County
103 Corporate Drive
Owego, NY 13827

Susquehanna River Basin Commission
1760 Elmira Street
Sayre, PA 18840