



**STATE ENVIRONMENTAL QUALITY REVIEW ACT
DETERMINATION OF NON-SIGNIFICANCE (NEGATIVE DECLARATION)**

NICHOLS JOINT FIRE STATION PROJECT

DATE: September 25, 2017

NAME OF ACTION: Nichols Joint Fire Station Project

LOCATION: 106 West River Road, Nichols, New York 13812

SEQRA CLASSIFICATION: Type I; Unlisted

REVIEW TYPE: Coordinated; Uncoordinated

DETERMINATION OF SIGNIFICANCE: Negative Declaration; Positive Declaration

The Proposed Project:

GOSR is managing the U.S. Department of Housing and Urban Development (HUD) Community Development Block Grant – Disaster Recovery (CDBG-DR) program pursuant to the Disaster Relief Appropriations Act of 2013 (Public Law 113-2, approved January 29, 2013). The NYS Housing Trust Fund Corporation (HTFC), which administers the CDBG-DR program funds on behalf of GOSR, intends to approve funding from the CDBG-DR Community Reconstruction and Infrastructure Program Fund for improvements and enlargement of the existing Nichols Volunteer Fire Department to function as the Village and Town of Nichols Joint Fire Department. The proposed project is located on a 0.5-acre parcel at the Nichols Volunteer Fire Department, at 106 West River Road, Nichols, New York.

The proposed project is comprised of several component upgrades and improvements required for the firehouse to meet federal- and county-recommended standards as a functional emergency operations center for the Village and Town of Nichols, New York. All emergency vehicles and equipment will be stored at the renovated fire house. These upgrades and improvements include approximately 4,256 square feet of additional space to the existing firehouse. The addition and upgrades include a training room, community hall (multi-purpose area), mechanical room, gear room with washer and dryer, communications room, locker area, kitchen, bathrooms, three offices, multiple storage areas, eight truck bays, stairs to a mezzanine and a mezzanine; approximately 24 parking spaces; and a septic system (See attached Site Plans). The new mezzanine will include three offices and storage space. Two of the six new bathrooms will be equipped with showers. The attached plans show the proposed building layout which is subject to change during the finalization and public review of the plans and permitting processes. The project would be constructed on the existing Nichols Volunteer Fire Department property. The proposed plans include an approximately 9,000 square feet asphalt driveway and parking area. No land acquisition is anticipated. No fuel storage is proposed and a new septic system will be installed in accordance with local and state requirements. The facility is served by existing electric, public water and storm drainage system and a propane backup generator.

The proposed construction will include a steel framed building with energy conservation with 2016 New York State supplements. The final total square footage will be approximately 8,282 square feet. The septic system

will include a 1,500-gallon concrete tank with 750-gallon grease trap and will be constructed in accordance with local and state septic system requirements and permitting conditions. The initial draft septic plans are shown on sheets C1 and C2 of attached plans. All storm water will be directed to storm existing sewers. Electronics and equipment will be elevated.

The eight truck bays will be used for the storage of 6 fire trucks including a ladder truck. The trucks will be backed into the truck bay. One of the bays will be used to store an emergency boat and trailer. The fire station has access to public water.

No new employees or additional traffic is anticipated in response to the fire house addition and upgrade. Traffic will more efficiently move and out of the fire station with the increased size.

The proposed improvements include:

- Minor earthwork
- Potential utility relocation
- Foundation construction and installation
- Ingress/egress to site to include onsite parking
- Onsite drainage improvements

Other improvements incorporate mechanical, electrical, and plumbing upgrades. Mechanical improvements to the interior environment of the firehouse include the installation of an energy efficient roof-mounted air conditioning system. Gas fired unit heaters, a roof mounted exhaust fan at the generator room, and a new roof mounted exhaust fan for toilet rooms for the addition also would be provided. In addition to new plumbing fixtures, the Project would provide an oil separator for floor drains in the garage; furnish an instantaneous gas-fired, direct-vent hot water heater; and modify the existing water service to be used only for filling of tanker trucks

Removal of existing building components would be required in order to make the proposed changes.

Additional site work would include grading the new parking area, installing concrete sidewalks and curbs, and adding topsoil and seeding disturbed areas to establish a lawn.

The Susquehanna River is located approximately 750 feet north the Project site. The Project site is located over the Clinton Street Ballpark Sole Source Aquifer.

The Town of Nichols will provide water and the facility will have an upgraded septic system. Electric power and natural gas will be provided by New York State Electric and Gas (NYSEG).

Purpose and Need:

Hurricane Irene and Tropical Storm Lee inundated the Village of Nichols with storm water in 2011 and deposited large amounts of debris into the Susquehanna River. The extreme rains associated with Hurricane Irene and Tropical Storm Lee caused the groundwater to rise and flooding the village. This put fire, emergency rescue and medical and other emergency services at risk and negatively impacted the command center equipment that keeps the Town and Village connected to the Tioga County Emergency Management Office. This project provides for the expansion to the existing joint fire station building to serve the Town and Village of Nichols. The project will expand the facility to house modern emergency response vehicles and provide meeting, storage and office space. The project will also improve public safety and first responder/firefighter capability during storm events.

The existing building is located within the Village of Nichols' levee system, which currently has provisional accreditation; however, the Village of Nichols is currently working to obtain full and permanent accreditation, thereby protecting the existing Joint Fire Station from potential flooding. The Village has an accepted CDBG-

Nichols Joint Fire Station Project – Negative Declaration

DR application to complete a levee study and improvements to identify and correct deficiencies in the levee and obtain USACE levee certification and FEMA levee accreditation. The levee study and design improvements for certification and accreditation have been completed and the accreditation has been submitted to FEMA.

The Joint Fire Station will mitigate against perils in the midst of or aftermath of a disaster or storm event by allowing continuity of emergency services, coordination with the Tioga County Emergency Management Office and protection of emergency and rescue equipment. This project will contribute to the Village of Nichols' recovery from the storm event and help protect them in the years ahead.

The current fire station does not have the capacity to store modern sized fire trucks and there are no training rooms or community room for village or town to hold emergency responder training, meetings or provide emergency shelter. The new training room will provide trainers access to the fire department equipment used in training required for emergency responders. The kitchen will provide food services to emergency responders and a temporary resource during emergency sheltering. The community room will be multi-purpose and will be used as a temporary shelter during emergencies and potentially as food staging. The fire station is currently equipped with a backup generator which will provide energy supply to the station during power outages.

The project beneficiaries include the Village and Town of Nichols, New York. The Village anticipates the benefit of the project will be an improvement to public safety and first responder effectiveness, improvement in firefighter response to storm events, increased protection of high-value communications equipment and improving Nichols' ability to serve vulnerable populations requiring rescue and assistance during floods. The Joint Fire Station Project is articulated in the 2014 Tioga County NY Rising Community Reconstruction Plan (NYRCR). The implementation of this project is feasible within the CDBG-DR funds available to the Village of Nichols for recovery through the NYRCR program. The Village's officials and residents fully support the proposed project.

Existing Conditions:

The Town of Nichols is a rural community located in the Southern Tier Region of New York State. The Town, established in 1824, encompasses approximately 34 square miles and shares its entire northern border with the Susquehanna River and its southern border with Bradford County, Pennsylvania. The Town is easily accessible by the Southern Tier Expressway (NYS 17/I- 86), Main Street (NYS Route 282), and East and West River Roads. Major employers in the Town of Nichols are the Best Buy Warehouse/Distribution Center and Tioga Downs Casino, Racing and Entertainment (Tioga Downs). Other key employment includes the agriculture and gravel mining industries.

The Town has experienced a relatively stable population during the past decade, which has helped to preserve the small-town feel of the community. In 2010, the U.S. Census reported the population of the Town of Nichols as 2,525 residents. This represents a 59-person decrease from the 2,584-person population reported in 2000. The median age of community residents was 41.6 years, slightly less than the 42.6 years of age reported for the County. The 2010 census also reported the Town population as predominately white (96.2%), the median household income as \$47,009 (slightly less than the County figure of \$53,789 and the NYS reported figure of \$56,951), and that approximately 81.6% of the Town's housing units were owner occupied and the remaining 18.4% were rentals.

While the population is somewhat stable and the household income is slightly less than Tioga County, it is important to preserve the existing community structure and to enhance the economy. A stable or increasing population and increased wealth will ensure long-term sustainability.

The Town of Nichols is currently guiding its local land use decisions based on the following plans and local land use laws: Town of Nichols Zoning Ordinance, Flood Damage Prevention Local Law, and the 2011 Nichols Agriculture and Farmland Protection Plan. In 2006, the Town completed the Greater Nichols 2020

Plan (a comprehensive plan). Although a document was completed, the Town Board still has not officially adopted the 2020 Plan.

The Town of Nichols contains the Village of Nichols. The village is a hamlet of about 512 inhabitants located half way between the east and west lines of the Town of Nichols on the Susquehanna River at the mouth of Wappasening creek. The village is 0.5 square miles. The Southern Tier Expressway and New York State Route 282 pass through the village. As of the census there were 213 households and 152 families residing in the village. The population density was 1,123.9 people per square mile.

The Village of Nichols, which is approximately a quarter square mile area, is located in the heart of the Town and serves as the community's "Downtown", providing restaurants, a hardware store, banks, a general store, and other similar uses. It is protected by a levee system that was constructed in 1972 by the U.S. Army Corps of Engineers (USACE). The Village is surrounded to the west, south, and east by forested and agricultural land. It is also home to Kirby Park, a popular recreation area located along the west bank of the Wappasening Creek. The Village of Nichols has an adopted Comprehensive Plan.

Funding:

The total Project cost is estimated at \$1,155,000. GOSR proposes to allocate funding pursuant to the U.S. Department of Housing and Urban Development (HUD) Community Development Block Grant-Disaster Recovery (CDBG-DR) program as authorized by the Disaster Relief Appropriations Act of 2013 (Public Law 113-2, approved January 29, 2013). The NYS Housing Trust Fund Corporation (HTFC), which administers the CDBG-DR program funds on behalf of GOSR, intends to approve funding to the Village of Nichols for the proposed Project as described in this negative declaration.

Environmental Considerations:

The proposed Project site is located outside of the 100-year floodplain and the Village and Town of Nichols experienced flooding during Tropical Storm Lee. The Susquehanna River and Wappasening Creek overflowed their banks during Tropical Storm Lee. As a result, emergency response services were hampered during and after the storms. The Project would contribute to the quality of life for the Village and Town residents by providing enhanced emergency response services during severe weather events, which is essential to the health, safety, and welfare of the residents.

Land Use, Zoning, Public Policy and Urban Design – The proposed Project is consistent with existing zoning regulations, land use types, building height and scale. The Project would maintain current land use and would therefore be compatible with existing land use. The Project site would continue to be zoned as a mix of A (Agricultural), B (Business), I (Industrial), and R (Residential). The proposed Project falls under the 2014 Tioga County NY Rising Community Reconstruction Plan (NYRCR), which notes that constructing a new facility that will be constructed using flood-resistant materials and where possible, will incorporate green technology to increase energy efficiency. The structure will house emergency vehicles on the ground floor, and essential communication equipment and offices on the second floor. The structure will include eight bays (two trucks deep to accommodate the ladder truck), a kitchen/pantry, dining room, two bathrooms, conference room, office space for the Fire Chief and Fire Commissioner, a fire proof file room, storage room for supplies, gear storage, and a water rescue supply room. The proposed Project would not result in the creation of new jobs and/or an increase in the number of employees and would therefore not have an urbanizing effect.

Soil Suitability, Slope, Erosion, Drainage, and Storm Water Runoff – The Project site is relatively flat, with less than 5 percent slope, and is in a semi-developed setting. The site will require grading and compaction for the site improvements, including building foundations, stormwater features, and paved parking areas. The Project would not result in impacts to slope or create a source of erosion on or off the site. The addition would connect to the existing water, sewer, and storm drain utilities. Redevelopment of the Project site would The Project site is relatively flat, with less than 5 percent slope, and is in a semi-developed setting (See Appendix H, Topographic Map). The site will require grading and compaction for the site improvements, including

building foundations, stormwater features, and paved parking areas. The Project would not result in impacts to slope or create a source of erosion on or off the site. The addition would connect to the existing water, sewer, and storm drain utilities. Redevelopment of the Project site would not create stormwater runoff that would adversely affect drainage systems. The soil (Tioga silt loam) is not limited for construction purposes. According to the USDA soil survey, Tioga silt loam have a low concrete corrosion, high potential soil-induced electrochemical or chemical action that corrodes or weakens steel and a high potential for corrosion of uncoated steel. They are poorly suited to mechanical surface preparation but are only somewhat limited for gravel and paved roads. A State Pollutant Discharge Elimination System (SPDES) General Stormwater Permit would not be required because the amount of ground disturbance at the site would be less than 1 acre. The increase in impervious surface on the site would be the approximately 4,500-square feet.

Hazards and Nuisances, including Site Safety and Noise –

Air

The proposed Project will not adversely affect air quality. The proposed Project is not located in a designated non-attainment area for air quality and the proposed activities will not affect transportation patterns or levels of service thereby aiding the preservation of local air quality. Standard BMPs will be implemented during construction to control dust and other emissions. No significant impacts on air quality will result due to the proposed Project.

Solid Waste

The Project site has been previously disturbed with parking and an operational fire station. Based on interview with town officials, no hazardous or solid waste storage is evident on the site other than normal trash was daily operations and maintenance. The Project would not expose new populations to hazardous or nuisances because no new populations would reside on the Project site.

Hazardous Waste Sites

A search of the New York State Department of Environmental Conservation (NYSDEC) Bulk Storage Program Database identified inactive, active and closed petroleum bulk storage facilities within 1 mile of the Project site. One facility was identified and has no violations and therefore, does not pose a threat to the project location.

A search of the NYSDEC Remedial Site Database that contains records of the sites being addressed under one of DER's remedial programs (State Superfund, Brownfield Cleanup, Environmental Restoration and Voluntary Cleanup, the Registry of Inactive Hazardous Waste Disposal Sites, and Institutional and Engineering Controls), identified one State Superfund Program hazardous waste sites near the project location. The site, South Main Street Dry Cleaning, used the solvent tetrachloroethylene (PCE) in a dry-cleaning machine housed in a small laundromat located at 37 South Main Street in the middle of the Village of Nichols. After it was used, the spent PCE went into an on-site dry well located behind the laundromat. The PCE eventually leaked into the groundwater beneath the. The maximum concentration of PCE found during the sampling was 220 parts per billion (ppb). PCE levels of 3.5 ppb and 1.0 ppb were detected in two nearby residential drinking water wells respectively. In June of 2000 groundwater analysis showed that the PCE contaminant levels in the plume diminished to levels below groundwater standards for PCE in all but one location which is at 18 ppb. A "No Further Action" ROD was signed in March, 2002, recommending decommissioning of the monitoring wells and that the site be de-listed from the Registry. The groundwater plume does not pose a threat to the project location because of the low concentrations of PCE detected in groundwater. NYSDEC database states, "There are no remaining environmental problems associated with the disposal of hazardous waste at this site."

EPA's NEPAassist mapping tool did not identify any EPA-regulated facilities within 1 mile of the Project site.

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A search of the New York State Department of Environmental Conservation (NYSDEC) Bulk Storage Program Database identified inactive, active and closed petroleum bulk storage facilities within 1 mile of the Project site. The facility has no violations and therefore, does not pose a threat to the project location.

A search of the NYSDEC Remedial Site Database that contains records of the sites being addressed under one of DER's remedial programs (State Superfund, Brownfield Cleanup, Environmental Restoration and Voluntary Cleanup, the Registry of Inactive Hazardous Waste Disposal Sites, and Institutional and Engineering Controls), identified one State Superfund Program hazardous waste sites near the project location (See Appendix C). The site, South Main Street Dry Cleaning, used the solvent tetrachloroethylene (PCE) in a dry-cleaning machine housed in a small laundromat located at 37 South Main Street in the middle of the Village of Nichols. After it was used, the spent PCE went into an on-site dry well located behind the laundromat. The PCE eventually leaked into the groundwater beneath the. The maximum concentration of PCE found during the sampling was 220 parts per billion (ppb). PCE levels of 3.5 ppb and 1.0 ppb were detected in two nearby residential drinking water wells respectively. In June of 2000 groundwater analysis showed that the PCE contaminant levels in the plume diminished to levels below groundwater standards for PCE in all but one location which is at 18 ppb. A "No Further Action" ROD was signed in March, 2002, recommending decommissioning of the monitoring wells and that the site be de-listed from the Registry. The groundwater plume does not pose a threat to the project location because of the low concentrations of PCE detected in groundwater. NYSDEC database states, There are no remaining environmental problems associated with the disposal of hazardous waste at this site.

EPA's NEPAassist mapping tool did not identify any EPA-regulated facilities within 1 mile of the Project site.

Asbestos and Lead-Based Paint

The Fire Station was constructed before 1978. Because of the age of the building an asbestos and lead-based paint survey will be conducted before demolition and renovation activities. In accordance with 12 NYCRR 56, no renovation/demolition work will be commenced by any owner or agent prior to completion of asbestos abatement performed by a licensed asbestos abatement contractor **if** asbestos is found in the building. Any surface coated with paint is considered to contain some percentage of lead, based on the age of the building. Any alteration and/or repair, including painting and decorating shall meet the requirements of the Occupational Safety and Health Administration (OSHA) Construction Lead Standard (29 CFR 1926.62). Contractors will be alerted to the fact that the paint coating on surfaces in this Project is likely to contain lead, and contractors of each trade will be required to submit their written lead program prior to the start of work. The plan must identify potential sources of lead exposure and propose specific procedures to protect workers from those exposures.

Radon

According to the EPA, the Project site is in Radon Zone 1, where the predicted average indoor radon screening level is greater than 4 picoCuries per liter (pCi/L), the highest potential for elevated indoor radon levels. A vapor barrier will be installed to prevent radon gas from entering the new portions of the building and radon survey will be completed to determine interior radon levels. If radon is detected at or above 4 pCi/L, a radon mitigation system will be installed.

Noise

Some noise may be generated during construction; however, this will be temporary and will not adversely impact the surrounding areas. The proposed activities will not significantly increase the level of noise or vibration compared to current conditions. In addition, no blasting will be required.

Energy Consumption – The proposed Project will not cause an increase in the use of energy as the improvements will include energy efficient utilities. The improved facility would use more modern and energy-saving building materials and practices. Some energy savings may be realized. No impacts would occur to existing nearby suppliers.

Socioeconomic Impacts and Community Facilities and Services – The proposed Project would create temporary construction jobs. However, these jobs would not significantly increase employment opportunities

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or impact income patterns. The proposed Project would not result in the creation of new permanent jobs and/or result in an increase in the number of employees in the Village or Town of Nichols and therefore would not impact employment and income patterns or alter the demographic characteristics of the surrounding community.

In addition, the Project would not increase the demand for educational, health care or social service facilities, nor would it directly or indirectly displace people, businesses, institutions, or community facilities as it would occur within existing undeveloped parcel owned by the Village or Town of Nichols.

The Project site does not contain a structure that is listed on either the State or National Register of Historic Places (NRHP). Consultation with the NY State Historic Preservation Office (SHPO) confirms that the proposed Project would not affect listed state or NRHP sites or districts.

In addition, a consultation request for the proposed Project was sent to Tribal Historic Preservation Office for the Cayuga Nation of New York and Onondaga Nation, and the Seneca-Cayuga Nation. No response from the three Tribes has been received to date.

Site development include approximately 4,256 square feet of additional space to the existing firehouse and excavation depths to up to an estimated depth of 4 to 6 feet below ground surface and approximately 9,000 square feet of asphalt will be added for parking and driveway. These construction activities would result in the generation of waste. The amount of solid waste generated from the construction would not significantly increase short-term generation of municipal solid waste. All Project-generated solid waste materials must be managed and transported in accordance with the state's solid and hazardous waste rules.

No expansion of the sanitary sewer system would be required. Wastewater and sewage generated by the proposed Project will be accommodated by through an onsite septic system.

No changes to the public/public water systems are anticipated. The water supply for the fire station will be from the United Water which serves the Village and Town of Nichols. The Project will not place additional demand on a public water system because demand at the existing facility also served by United Water.

The proposed Project would not result in the creation of new jobs and/or result in an increase in the number of employees in the Village and Town of Nichols and therefore would not increase demand for police protection, fire protection, or emergency medical services. The proposed new facility would be constructed in compliance with local building codes. The Project is expected to ensure that the critical emergency facilities are relocated outside of the floodplain which increase response efficiency as well is being better equipped and is expected to have a beneficial impact on public safety.

The proposed Project would not impact open space or recreation because the existing facilities will be expanded on the current location of the fire station.

The proposed Project would not impact transportation. There would be a negligible and temporary increase in construction traffic.

Natural Features – The Project site is not located within a state listed Critical Environmental Area (CEA).

There are no NYSDEC mapped wetlands or U.S. Army Corps. of Engineers (USACE) wetlands within the immediate vicinity of the Project site.

The Project site is within an EPA regulated Sole Source Aquifer (SSA), the Clinton Street Ballpark SSA. Consultation with the EPA stated that the Project satisfies the requirements of Section 1424(e) of the Safe Drinking Water Act.

The Project site is not within the 100-year or 500-year floodplain. In addition, the proposed Project will not result in an increase in the potential for erosion, flooding or drainage problems. The proposed actions will not create additional stormwater runoff that would adversely affect the existing of drainage systems. There will be an increase in impervious surface on the Project site of approximately 9,000 square feet.

The NY Natural Heritage Program (NYNHP) has no records of any rare or state-listed species in the Project area. The US Fish and Wildlife Service (USFWS) IPaC data shows that the Northern Long-eared Bat (NLEB) (*Myotis septentrionalis*), federal-listed as threatened and several species of migratory birds may occur within

the boundary of and/or may be affected by the Project. GOSR completed an analysis of effects and determined that this project may affect the NLEB, but that any resulting incidental take of the NLEB is not prohibited by the final 4(d) rule determined and that the project would have no effect on migratory birds. The analysis was provided to the USFWS.

The soils at the Project site are identified as Prime Farmland soils; however, they are not within a New York state agricultural district. The Project site has been disturbed and is used as a parking area. The Project falls under the Farmland Protection Policy Act small acreage exemption of 3 acres or less because the area of disturbance is limited to no more than 2 acres.

The proposed Project is classified as an Unlisted action, and GOSR, as the lead agency, prepared a Short Environmental Assessment Form (SEAF) under SEQRA. The current fire station does not have the capacity to store modern sized fire trucks and there is no training rooms or community room for village or town to hold emergency responder training, meetings or provide emergency shelter. The new training room will provide trainers access to the fire department equipment used in training required for emergency responders. The kitchen will provide food services to emergency responders and a temporary resource during emergency sheltering. The community room will be multi-purpose and will be used as a temporary shelter during emergencies and potentially as food staging. The fire station is currently equipped with a backup generator which will provide energy supply to the station during power outages.

The proposed Project would include the following measures to avoid or reduce environmental effects:

- Implementation of standard best management practices (BMP) would control dust and other emissions during construction.

Standard Requirements:

Any change to the proposed Project as described will require re-evaluation by GOSR's Certifying Officer for compliance with SEQRA and other law, regulations and policies.

This review does not address all federal, state and local requirements. Acceptance of federal funding requires recipient to comply with all federal, state and local laws. Failure to obtain all appropriate federal, state and local environmental permits and clearances may jeopardize federal funding.

Additional Mitigation Measures:

To the extent practicable, the following mitigation measures recommended by the United States Environmental Protection Agency would be implemented by the Responsible Entity to minimize environmental impacts and create a more sustainable Project:

- Construction and demolition – utilize local and recycled materials in the construction process and to recycle materials generated onsite to the maximum extent possible
- Clean diesel – implement diesel controls, cleaner fuel, and cleaner construction practices for on-road and off-road equipment used for transportation, soil movement, or other construction activities, including:
 - Strategies and technologies that reduce unnecessary idling, including auxiliary power units, the use of electric equipment, and strict enforcement of idling limits; and
 - Use of clean diesel through add-on control technologies like diesel particulate filters and diesel oxidation catalysts, repowers, or newer, cleaner equipment.
- Stormwater – utilize low impact development (LID) principles such as minimizing imperviousness to create site drainage, and the planting of native and non-invasive vegetation on the Project site for stormwater management purposes. Other LID practices can include bioretention facilities, rain gardens, vegetated rooftops, rain barrels, and permeable pavements;
- Cost-efficient, environmentally friendly landscaping – EPA's GreenScapes program provides cost-efficient and environmentally friendly solutions for landscaping;

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- Energy efficiency – energy-efficient technologies should be incorporated into the firehouse when possible; and
- Water conservation and efficiency – promote water conservation and efficiency through the use of water efficient products and practices.
 - The use of products with the WaterSense label where appropriate.

In addition to the factors considered above, the GOSR considered the following guidance from the State Environmental Quality Review Act and its implementing regulations and determined that the Proposed Action would:

- i. Not result in “a substantial adverse change in existing air quality, ground or surface water quality or quantity, traffic or noise levels; a substantial increase in solid waste production; a substantial increase in potential for erosion, flooding, leaching or drainage problems;” (§617.7(c)(1)(i))
- ii. Not result in “the removal or destruction of large quantities of vegetation or fauna; substantial interference with the movement of any resident or migratory fish or wildlife species; impacts on a significant habitat area; or other significant adverse impacts to natural resources;”(§617.7(c)(1)(iii))
- iii. Not result in “the creation of a material conflict with a community’s current plans or goals as officially approved or adopted;” (§617.7(c)(1)(iv))
- iv. Not result in “the creation of a hazard to human health;” (§617.7(c)(1)(vii))
- v. Not result in “a substantial change in the use, or intensity of use, of land including agricultural, open space or recreational resources, or in its capacity to support existing uses;” (§617.7(c)(1)(viii))
- vi. Not result in “the encouraging or attracting of a large number of people to a place or places for more than a few days, compared to the number of people who would come to such place absent the action;” (§617.7(c)(1)(ix))
- vii. Not result in “the creation of a material demand for other actions that would result in one of the above consequences;” (§617.7(c)(1)(x))
- viii. Not result in “changes in two or more elements of the environment, no one of which has a significant impact on the environment, but when considered together result in a substantial adverse impact on the environment; or (§617.7(c)(1)(xi))

Therefore, GOSR, acting as Lead Agency, and having prepared a Short Environmental Assessment Form (SEAF), has determined that the proposed action will not have a significant effect on the environment and a Draft Environmental Impact Statement will not need to be prepared.



Lori A. Shirley

Date: September 25, 2017

Director, Bureau of Environmental Review and Assessment

Governor’s Office of Storm Recovery

New York State Homes & Community Renewal

38-40 State Street, Albany, NY 12207

Office: (518) 474-0755

Attachments:

Short Environmental Assessment Form

Site Location Figure

Site Plan

Negative Declaration Distribution List

A copy of this Notice is available at the following web address:

<http://www.stormrecovery.ny.gov/environmental-docs>

Short Environmental Assessment Form

Part 1 - Project Information

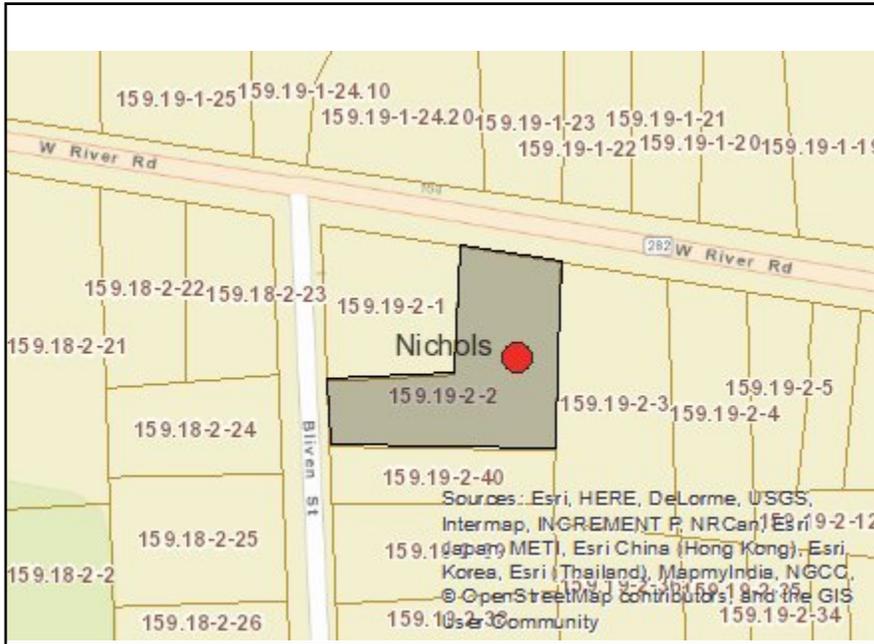
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| Part 1 - Project and Sponsor Information | | | | |
|--|--|------------|-----------|------------|
| Name of Action or Project: | | | | |
| Project Location (describe, and attach a location map): | | | | |
| Brief Description of Proposed Action: | | | | |
| Name of Applicant or Sponsor: | | Telephone: | | |
| | | E-Mail: | | |
| Address: | | | | |
| City/PO: | | State: | Zip Code: | |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. | | | NO | YES |
| 2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: | | | NO | YES |
| 3.a. Total acreage of the site of the proposed action? _____ acres | | | | |
| b. Total acreage to be physically disturbed? _____ acres | | | | |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres | | | | |
| 4. Check all land uses that occur on, adjoining and near the proposed action. | | | | |
| <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) | | | | |
| <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ | | | | |
| <input type="checkbox"/> Parkland | | | | |

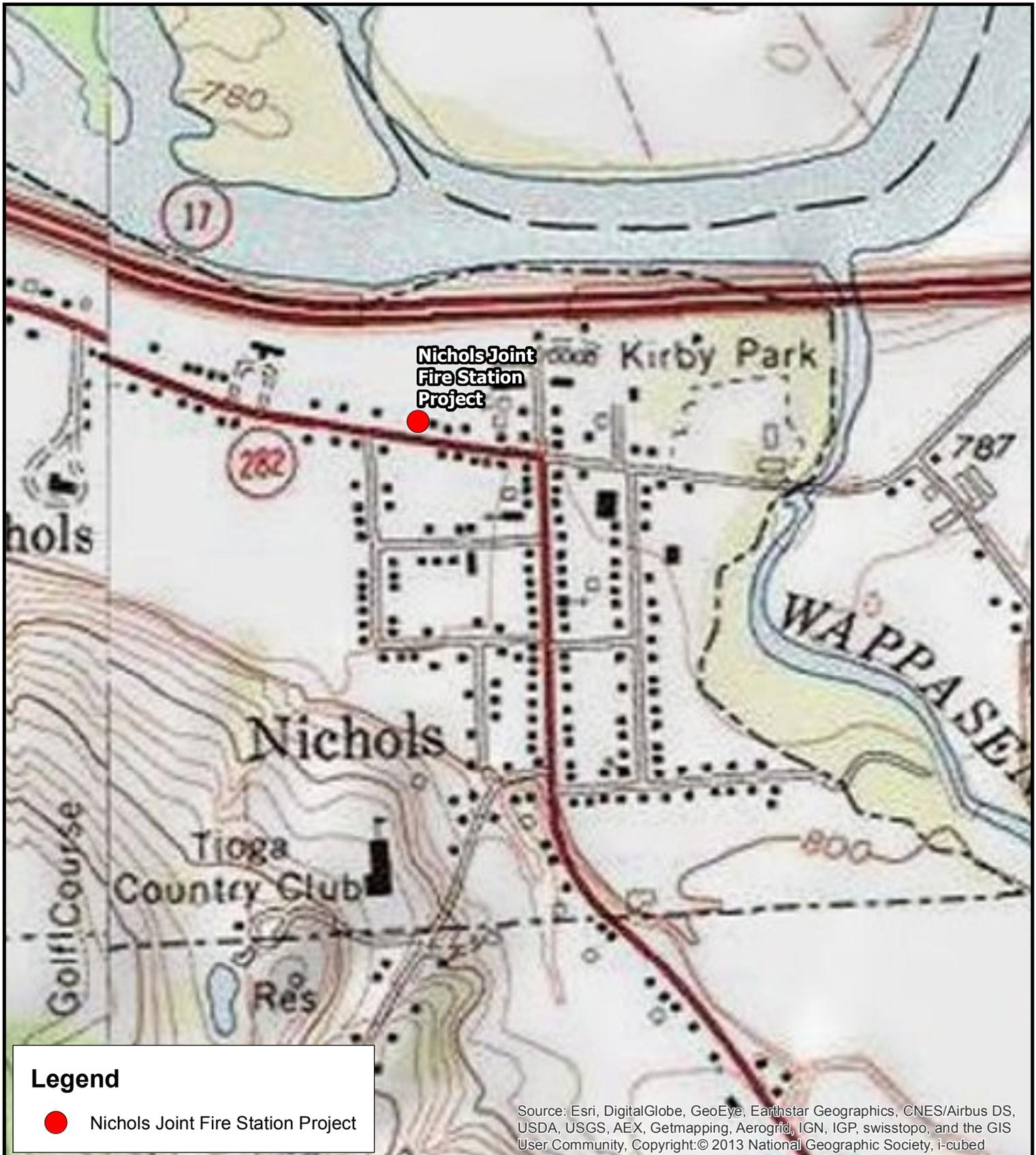
| | | |
|---|--|---|
| <p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p> | <p>NO</p> <p><input checked="" type="checkbox"/></p> | <p>YES</p> <p><input type="checkbox"/></p> |
| <p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p> | <p>NO</p> <p><input checked="" type="checkbox"/></p> | <p>YES</p> <p><input type="checkbox"/></p> |
| <p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>A nearby closed dry cleaners released trichloroethylene (TCE) to groundwater. NYSDEC completed a groundwater investigation and came to a no further action required conclusion. Concentration of TCE in groundwater low.</p> | <p>NO</p> <p><input type="checkbox"/></p> | <p>YES</p> <p><input checked="" type="checkbox"/></p> |
| <p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>LESLEY PELOTTE</u> Date: <u>8/23/2017</u></p> <p>Signature: <u>Lesley Pelotte</u></p> | | |



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



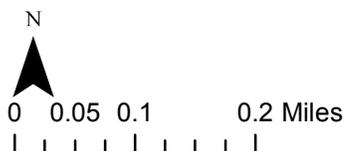
| | |
|---|-----|
| Part 1 / Question 7 [Critical Environmental Area] | No |
| Part 1 / Question 12a [National Register of Historic Places] | No |
| Part 1 / Question 12b [Archeological Sites] | Yes |
| Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies] | No |
| Part 1 / Question 15 [Threatened or Endangered Animal] | No |
| Part 1 / Question 16 [100 Year Flood Plain] | No |
| Part 1 / Question 20 [Remediation Site] | Yes |



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Nichols Joint Fire Station Project

Topo Map



Sources of Data: USFWS, FEMA, ESRI, State of NY



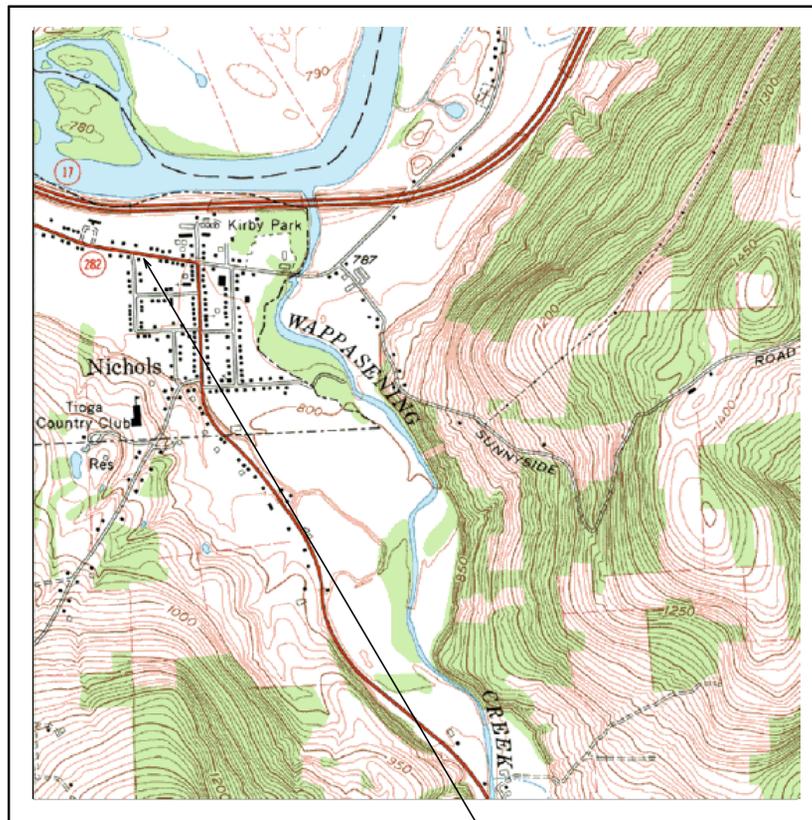
Governor's Office of Storm Recovery
 Drawn By: R.Ferres
 Version: 1.1
 Date: 08/18/2017

NICHOLS JOINT FIRE DISTRICT

106 W. RIVER ROAD., VILLAGE OF NICHOLS,
TIOGA COUNTY, NEW YORK

| | |
|-----------------|----------------------|
| TITLE PAGE | REV. DATE |
| DWG NO: 16025 | SCALE: 3/16" = 1' 0" |
| DATE: 07 JUL 17 | DRAWN BY: MS |
| | SHEET: T1 |

LOCATION MAP



106 W. RIVER ROAD,
VILLAGE OF NICHOLS
TIOGA COUNTY, NEW YORK

DESIGN NOTES

DESIGN OCCUPANCY: FIRE TRUCK BAYS (STORAGE S-1)
KITCHEN, RESTROOMS, TRAINING ROOM,
(BUSINESS A-3)

PROPOSED BUILDING CONSTRUCTION TYPE: STEEL FRAMED TYPE 2b

PROPOSED BUILDING AREA: 8,282 SQ. FT. - 4,593 SQ. FT. (A-3 OCCUPANCY)
- 3,689 SQ. FT. (S-1 OCCUPANCY)

BASIC DESIGN CODE: 2015 INTERNATIONAL BUILDING CODE AND
ENERGY CONSERVATION CODE WITH
2016 NEW YORK STATE SUPPLEMENTS

ENERGY CONSERVATION CODE COMPLIANCE: PRESCRIPTIVE METHOD

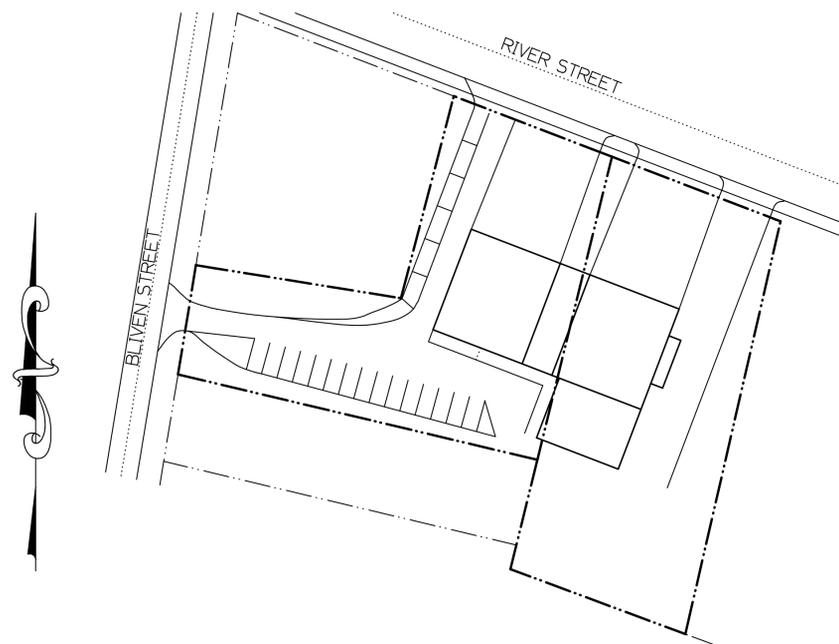
DESIGN CRITERIA

| ROOF LOAD | | | | | | SOIL BEARING | SEISMIC | |
|--|------------------|----------------|---------------|-----------------|---------------------|-----------------|-----------------|---------------|
| LIVE LOAD | GROUND SNOW LOAD | ROOF SNOW LOAD | EXPOSURE (Ce) | IMPORTANT. (Is) | THERMAL FACTOR (Ct) | ALLOWABLE (psf) | DESIGN CATEGORY | |
| 20 | 50 | 42 | 0.90 | 1.2 | 1.10 | 2,000 | A | |
| FLOOR LIVE LOAD (psf) | | | | WIND | | | | |
| CORRIDOR, TRAINING, OFFICE, OTHER ASSEMBLY | | | | TRUCK BAY | SPEED (mph) | IMPORT. (Iw) | EXPOSURE | WIND PRESSURE |
| 100 | | | | 100 | 90 | 1.15 | C | 21 psf |

SHEET INDEX

SHEET DESCRIPTION

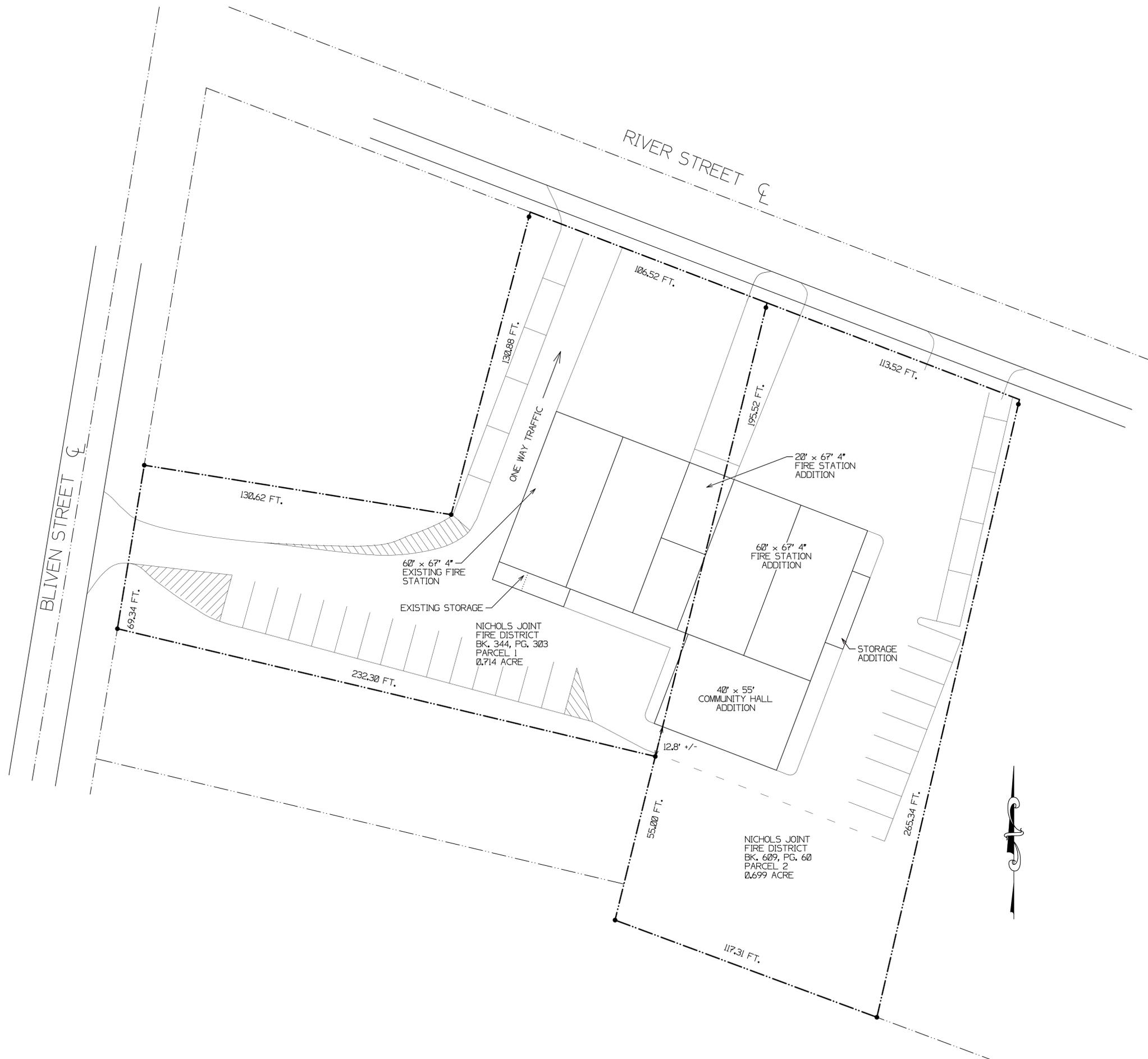
| | |
|----|---------------------------|
| T1 | TITLE SHEET |
| C1 | SITE PLAN |
| C2 | SEPTIC PLAN |
| C3 | SEPTIC DETAILS 1 |
| A1 | 1ST FLOOR/MEZZANINE PLANS |
| A2 | FOUNDATION PLAN |
| A3 | FOUNDATION DETAILS |
| A4 | BUILDING SECTIONS |
| A5 | BUILDING SECTIONS |
| A6 | FIRE-RATED WALL SECTIONS |
| A7 | ELEVATIONS |
| A8 | ACCESSIBILITY DETAILS 1 |
| A9 | ACCESSIBILITY DETAILS 2 |
| W1 | FINISH/MATERIALS PLAN |
| K1 | KITCHEN EQUIPMENT PLAN |
| K2 | KITCHEN ELEVATIONS |
| E1 | ELEC./LIGHTING PLAN |
| E2 | REFLECTED CEILING PLAN |
| F1 | LIFE SAFETY PLAN |
| M1 | EXHAUST REMOVAL PLAN |
| P1 | PLUMBING WASTE PLAN |
| P2 | WATER SUPPLY PLAN |
| P3 | FIXTURE LOCATION PLAN |



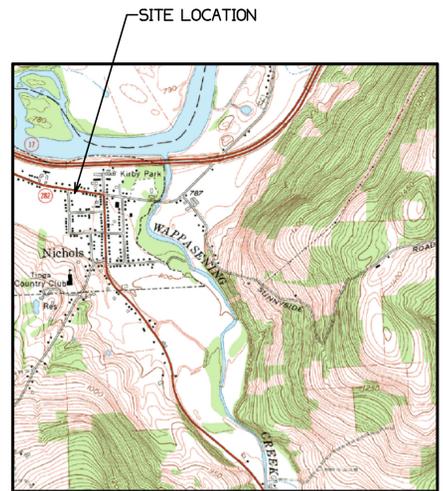
GENERAL NOTES
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FIRE STATION ADDITION AND RENOVATION
 NICHOLS JOINT FIRE DISTRICT
 106 W. RIVER ROAD, VILLAGE OF NICHOLS
 TIOGA COUNTY, NEW YORK

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 NEWARK VALLEY, NEW YORK 13811
 607-462-5300 MCELWAINENGINEERING@YAHOO.COM



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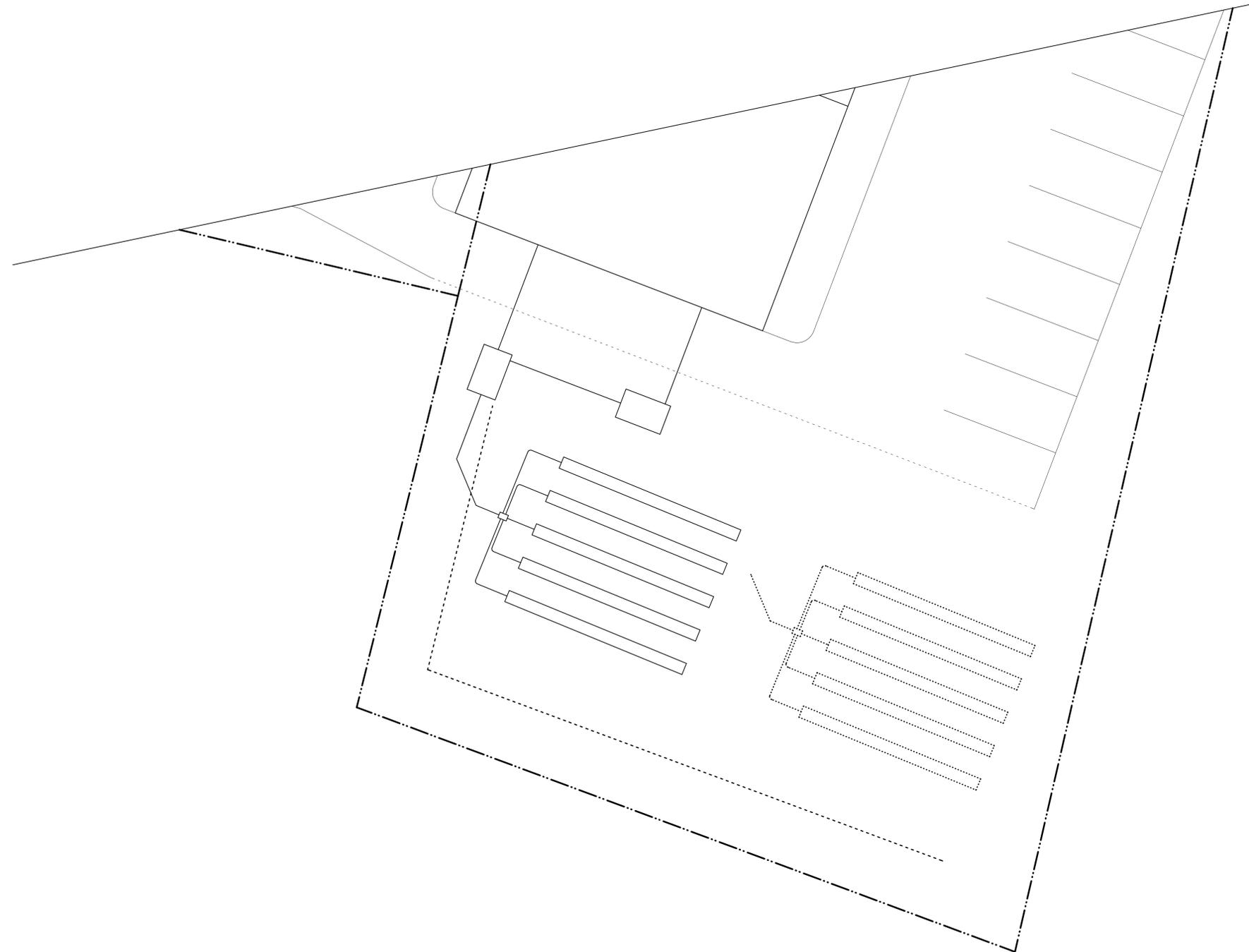
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| | |
|-----------------|-----------------|
| SITE PLAN | REV/DRAWN BY |
| DWG NO: 16025 | MS |
| SCALE: 1" = 20' | DATE: 07 JUL 17 |
| SHEET 17 | SHEET CI |

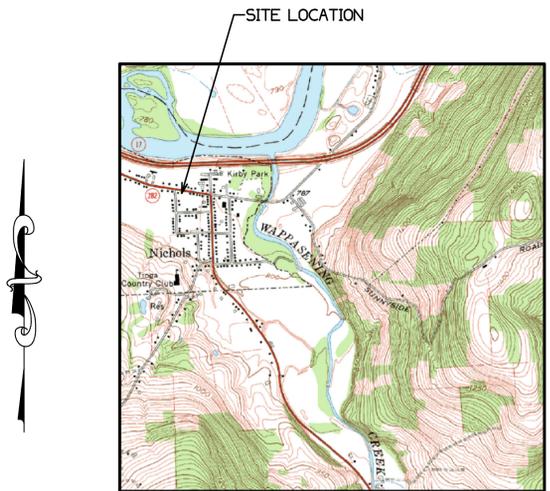
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- NOTES:
1. THE LOT LINES, DIMENSIONS, AND ANGLES FOR THIS DRAWING ARE TAKEN FROM A MAP DRAWN BY A LICENSED SURVEYOR. THIS DRAWING IS TO BE USED ONLY FOR DEPICTION OF SEPTIC AND ABSORPTION TRENCH LOCATIONS.
 2. DIMENSIONS FOR COMPONENT PLACEMENT ARE SHOWN PRIOR TO INSTALLATION. CHANGES OCCURRING DURING CONSTRUCTION WILL BE RECORDED.
 3. THERE ARE NO WELLS ON ADJACENT LOTS WITHIN 100 FT OF THIS SEPTIC SYSTEM.
 4. ALL PIPES, LEADS, AND TRANSMISSION LINES TO BE 4" DIA SCHEDULE 40 PVC OR BETTER. NO ANGLES TO EXCEED 45°. SEWER PIPE SLOPE TO BE 1/4" PER FT MINIMUM. EFFLUENT PIPE SLOPE TO BE 1/8" PER FT MINIMUM.
 5. SEPTIC TANK TO BE 1250 GAL DOUBLE SECTION CONCRETE TANK RATED FOR TRAFFIC LOAD.
 6. USE INFILTRATOR EQUALIZER 24 OR 36 ABSORPTION CHAMBER (OR EQUAL) FOR THE LATERAL. CHAMBERS TO BE LEVEL.
 7. MINIMUM SEPARATION DISTANCES:
 BUILDING TO SEPTIC TANK 10 FT
 BUILDING TO ABSORPTION TRENCHES 20 FT
 ANY SEPTIC COMPONENT TO LOT LINE 10 FT
 8. SLOPE IS NOT SHOWN. THE LOT IS FLAT.
 9. TRENCH LATERAL AREA BASED ON 500 GPD HYDRAULIC LOAD. SEE SHEET 2 FOR LENGTH CALCULATIONS
 10. APPROXIMATELY 4" OF TOP SOIL COVERING A GRAVEL SOIL TO 6 FT DEPTH. NO BEDROCK OR GROUNDWATER TO 6 FT. PERCOLATION RATE APPROXIMATELY 4 MIN/IN.
 11. WHERE THE SEWER LINE IS UNDER THE DRIVING SURFACE, INSTALL THE PVC PIPE INSIDE A CAST IRON PIPE. EXTEND THE CAST IRON PIPE TWO (2) PAST THE EDGE OF THE PAVEMENT. COVER THE CAST IRON WITH TWO (2) INCHES RIGID FOAM INSULATION. FOAM TO EXTEND ONE (1) FOOT ON EACH SIDE OF THE PIPE.

PRELIMINARY DRAWING
NOT FOR CONSTRUCTION



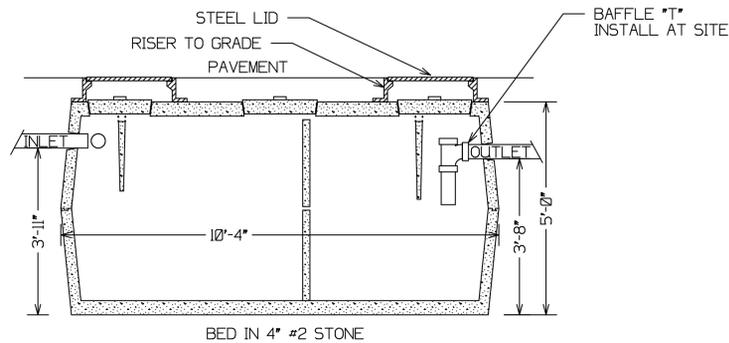
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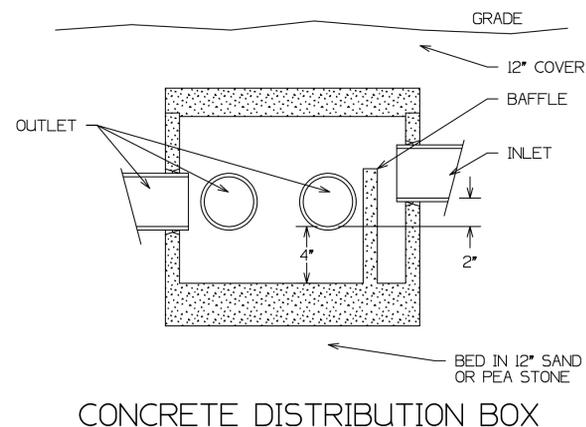
| | |
|-------------------------|--------------------|
| SEPTIC SYSTEM SITE PLAN | |
| DATE: 07 JUL 16 | REVISION: MS/SEM |
| SCALE: 1" = 10' | DRAWN BY: MS/SEM |
| | CHECKED BY: MS/SEM |
| | DATE: 07 JUL 16 |
| | SHEET: CI |

FIRE STATION ADDITION AND RENOVATION
 NICHOLS JOINT FIRE DISTRICT
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 607-442-5300 MCELWAINENGINEERING.COM



1500 GALLON SEPTIC TANK



CONCRETE DISTRIBUTION BOX

- NOTES:
1. DO NOT INSTALL TRENCHES IN WET SOIL.
 2. INSTALL TRENCHES PARALLEL TO CONTOURS.
 3. INSTALL TRENCHES AS SHALLOW AS POSSIBLE. (MEET NOTED MINIMUM DEPTHS SHOWN.)
 4. INSTALL INFILTRATOR SECTIONS ON BOTTOM OF LEVEL TRENCH. REFER TO MANUFACTURER INFORMATION FOR INSTALLATION REQUIREMENTS.

ACTUAL SOIL CONDITIONS SEEN FROM SOIL CUT:
 INCHES TOP SOIL - 2 TO 4
 INCHES PERMEABLE SOIL - TO BOTTOM OF 6 FT HOLE
 DEPTH TO GROUND WATER - NONE TO 6 FT

DESIGN CALCULATIONS:

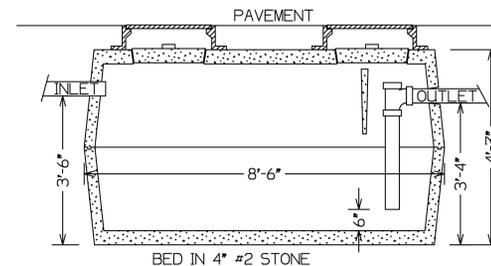
HYDRAULIC LOAD = 500 GPD
 SOIL PERCOLATION RATE = 4 MIN/IN
 APPLICATION RATE = 1,200 GPD/SQ FT

INFILTRATOR 36

TOTAL TRENCH LENGTH = 160 FT
 NUMBER OF TRENCHES = 5
 INDIVIDUAL TRENCH LENGTH = 32 FT

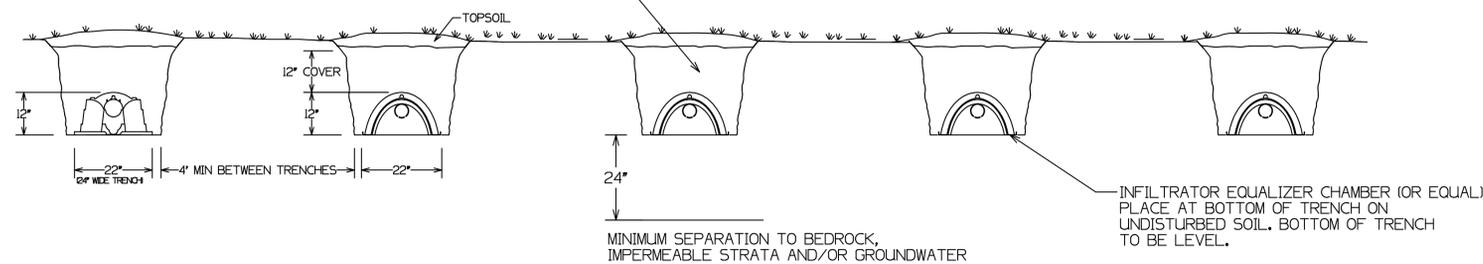
THIS DESIGN INCORPORATES THE USE OF A MANUFACTURED BIO-DIFFUSER FOR WATER DISPERSION. IF #2 CRUSHED STONE AND PERFORATED PIPE IS USED, THE TRENCHES ARE TO BE THE SAME AS PRESCRIBED FOR THE INFILTRATOR 24.

ABOVE DESIGN CRITERIA TAKEN FROM
 NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED
 WASTEWATER TREATMENT SYSTEMS
 MARCH 2014

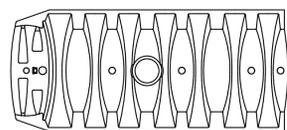


750 GALLON GREASE TRAP
 MAY BE PURCHASED FROM BINGHAMTON PRECAST OR EQUAL

BACKFILL WITH NATIVE SOIL - FABRIC OR STRAW COVER NOT RECOMMENDED
 MOUND FILL SLIGHTLY TO ALLOW SETTLING.
 PLANT GRASS COVER AS SOON AS POSSIBLE.

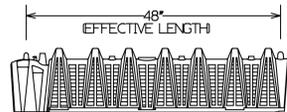


TOP VIEW

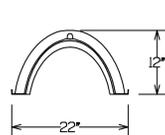


INFILTRATOR WATER TECHNOLOGIES
 QUICK4 EQUALIZER 36 CHAMBER
 PRODUCT SPECIFICATIONS
 NOT TO SCALE

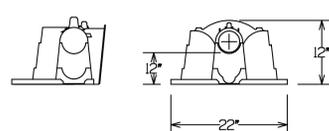
SIDE VIEW



END VIEW



QUICK4 EQUALIZER 36 MULTI-PORT END CAP



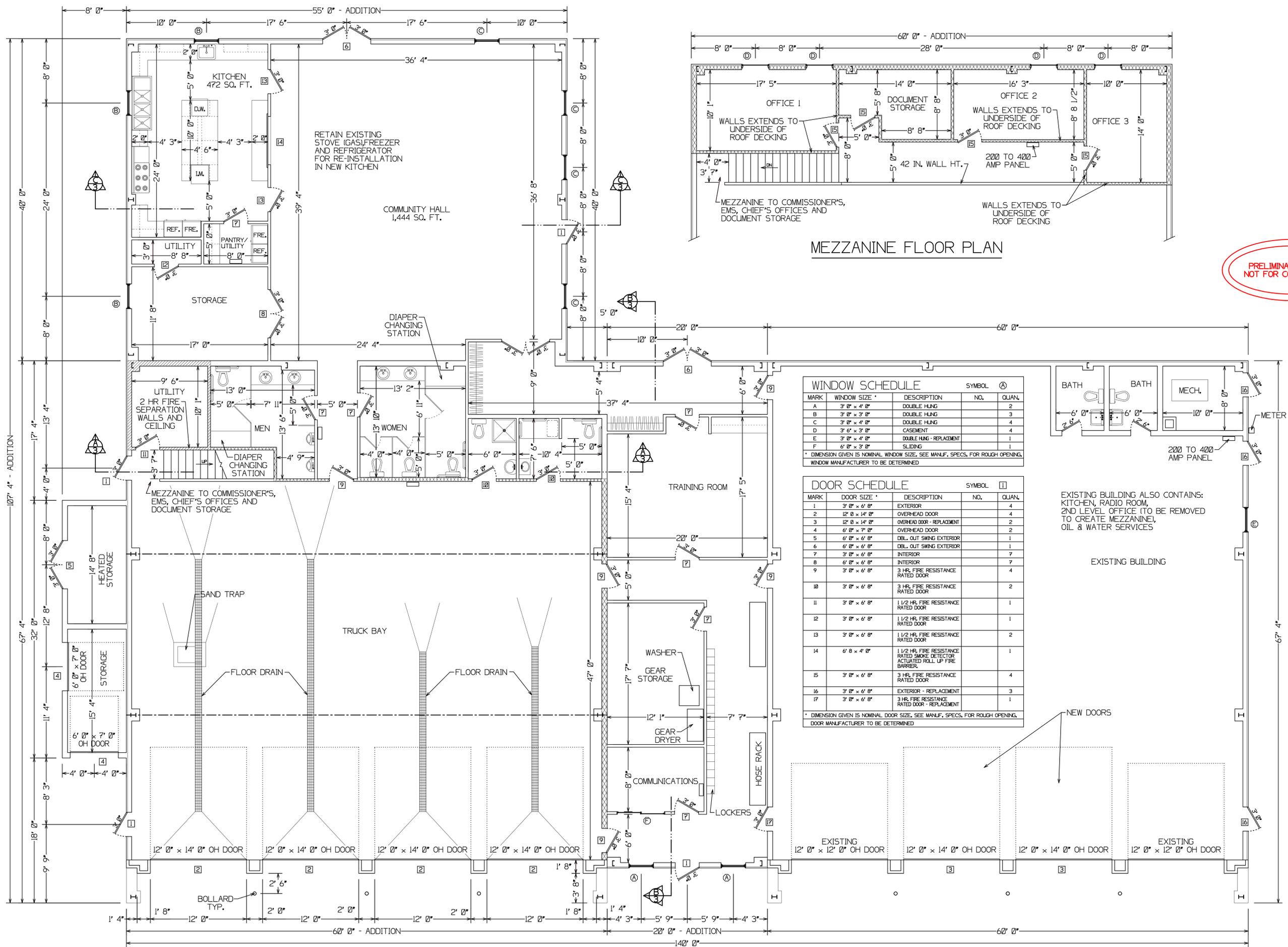
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| | | |
|--------------------------|-----------------|----------|
| SEPTIC SYSTEM COMPONENTS | REVISED | SEM |
| DWG NO: 16025 | DRAWN BY: | SHEET C2 |
| SCALE: NONE | DATE: 07 JUL 17 | |

FIRE STATION ADDITION AND RENOVATION
 NICHOLS JOINT FIRE DISTRICT
 106 W. REVER ROAD, VILLAGE OF NICHOLS
 TIOGA COUNTY, NEW YORK

McIlwain
 Engineering
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 NEWARK VALLEY, NEW YORK 13811
 607-642-5300 MCELWAINENGINEERING@YAHOO.COM



PRELIMINARY DRAWING
NOT FOR CONSTRUCTION

| WINDOW SCHEDULE | | | | |
|-----------------|---------------|---------------------------|-----|-------|
| MARK | WINDOW SIZE * | DESCRIPTION | NO. | QUAN. |
| A | 3' 0" x 4' 0" | DOUBLE HUNG | | 2 |
| B | 3' 0" x 3' 0" | DOUBLE HUNG | | 3 |
| C | 3' 0" x 4' 0" | DOUBLE HUNG | | 4 |
| D | 3' 0" x 3' 0" | CASEMENT | | 4 |
| E | 3' 0" x 4' 0" | DOUBLE HUNG - REPLACEMENT | | 1 |
| F | 6' 0" x 3' 0" | SLIDING | | 1 |

* DIMENSION GIVEN IS NOMINAL WINDOW SIZE, SEE MANUF. SPECS, FOR ROUGH OPENING.
WINDOW MANUFACTURER TO BE DETERMINED.

| DOOR SCHEDULE | | | | |
|---------------|-----------------|--|-----|-------|
| MARK | DOOR SIZE * | DESCRIPTION | NO. | QUAN. |
| 1 | 3' 0" x 6' 8" | EXTERIOR | | 4 |
| 2 | 12' 0" x 14' 0" | OVERHEAD DOOR | | 4 |
| 3 | 12' 0" x 14' 0" | OVERHEAD DOOR - REPLACEMENT | | 2 |
| 4 | 6' 0" x 7' 0" | OVERHEAD DOOR | | 2 |
| 5 | 6' 0" x 6' 8" | DBL. OUT SWING EXTERIOR | | 1 |
| 6 | 6' 0" x 6' 8" | DBL. OUT SWING EXTERIOR | | 1 |
| 7 | 3' 0" x 6' 8" | INTERIOR | | 7 |
| 8 | 6' 0" x 6' 8" | INTERIOR | | 7 |
| 9 | 3' 0" x 6' 8" | 3 HR. FIRE RESISTANCE RATED DOOR | | 4 |
| 10 | 3' 0" x 6' 8" | 3 HR. FIRE RESISTANCE RATED DOOR | | 2 |
| 11 | 3' 0" x 6' 8" | 1/2 HR. FIRE RESISTANCE RATED DOOR | | 1 |
| 12 | 3' 0" x 6' 8" | 1/2 HR. FIRE RESISTANCE RATED DOOR | | 1 |
| 13 | 3' 0" x 6' 8" | 1/2 HR. FIRE RESISTANCE RATED DOOR | | 2 |
| 14 | 6' 8" x 4' 0" | 1/2 HR. FIRE RESISTANCE RATED SMOKE DETECTOR ACTUATED ROLL UP FIRE BARRIER | | 1 |
| 15 | 3' 0" x 6' 8" | 3 HR. FIRE RESISTANCE RATED DOOR | | 4 |
| 16 | 3' 0" x 6' 8" | EXTERIOR - REPLACEMENT | | 3 |
| 17 | 3' 0" x 6' 8" | 3 HR. FIRE RESISTANCE RATED DOOR - REPLACEMENT | | 1 |

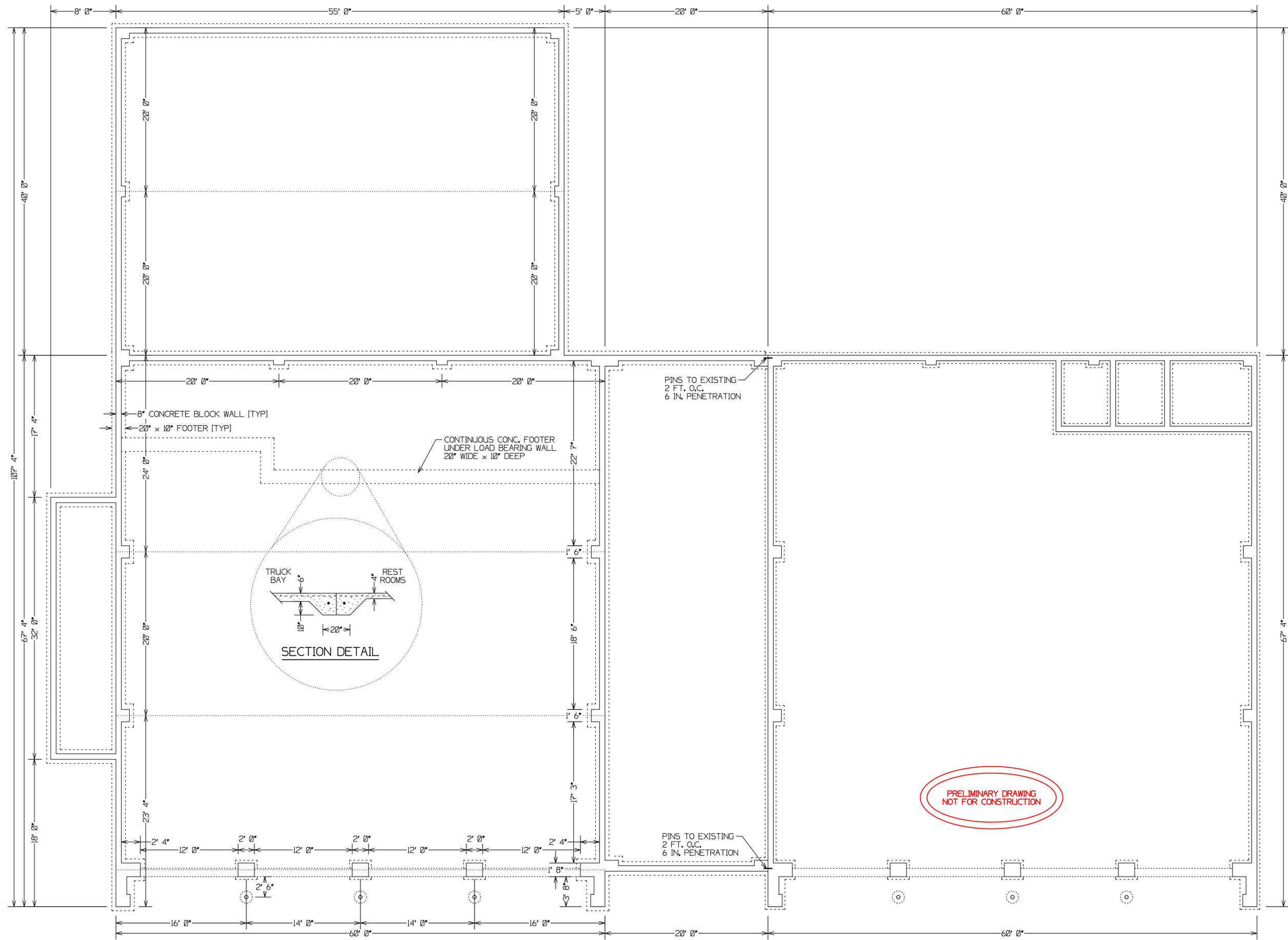
* DIMENSION GIVEN IS NOMINAL DOOR SIZE, SEE MANUF. SPECS, FOR ROUGH OPENING.
DOOR MANUFACTURER TO BE DETERMINED.

GENERAL NOTES
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2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

| | |
|----------------------|-----------------|
| ADDITION PLAN | REVISED |
| DWG NO: 16025 | DRAWN BY: MS |
| SCALE: 3/16" = 1' 0" | DATE: 07 JUL 17 |
| SHEET 01 | SHEET 01 |

FIRE STATION ADDITION AND RENOVATION
 NICHOLS JOINT FIRE DISTRICT
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 TIOGA COUNTY, NEW YORK

Mclwain Engineering
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 607-422-5300 MCLWAINENGINEERING@YAHOO.COM



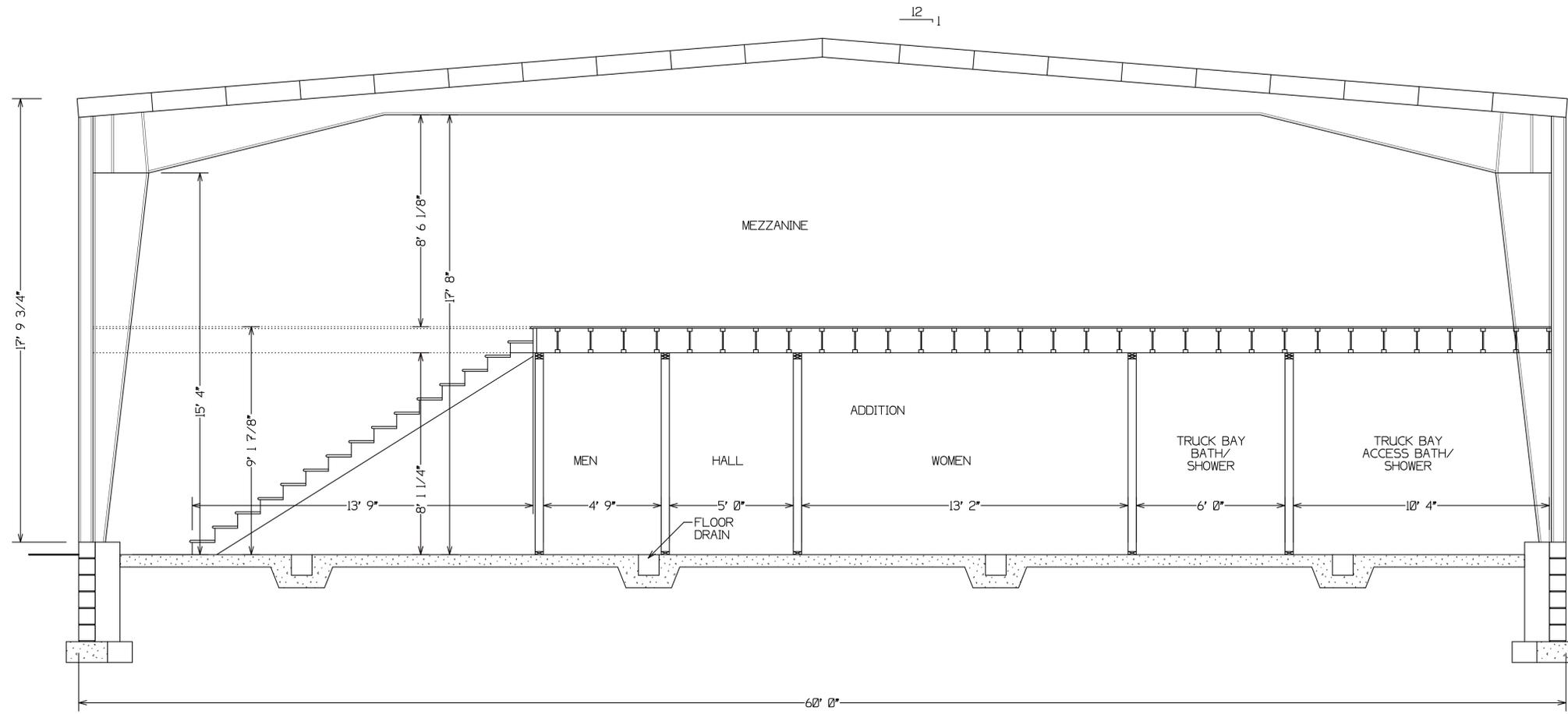
FOUNDATION PLAN

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| | | | |
|--------------------------|----------|----------|-----------|
| ADDITION FOUNDATION PLAN | REV/DATE | DRAWN BY | MS |
| DWG NO: 16025 | | | |
| SCALE: 3/16" = 1' 0" | | | |
| DATE: 07 JUL 17 | | | SHEET: A2 |

FIRE STATION ADDITION AND RENOVATION
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 CROSS SECTION A

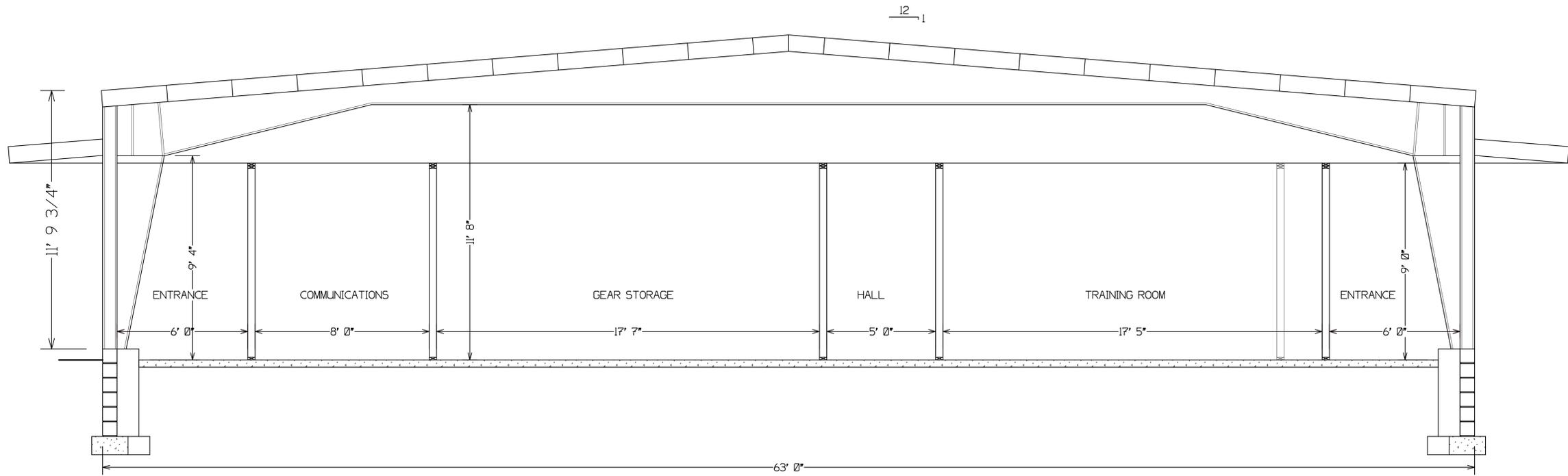
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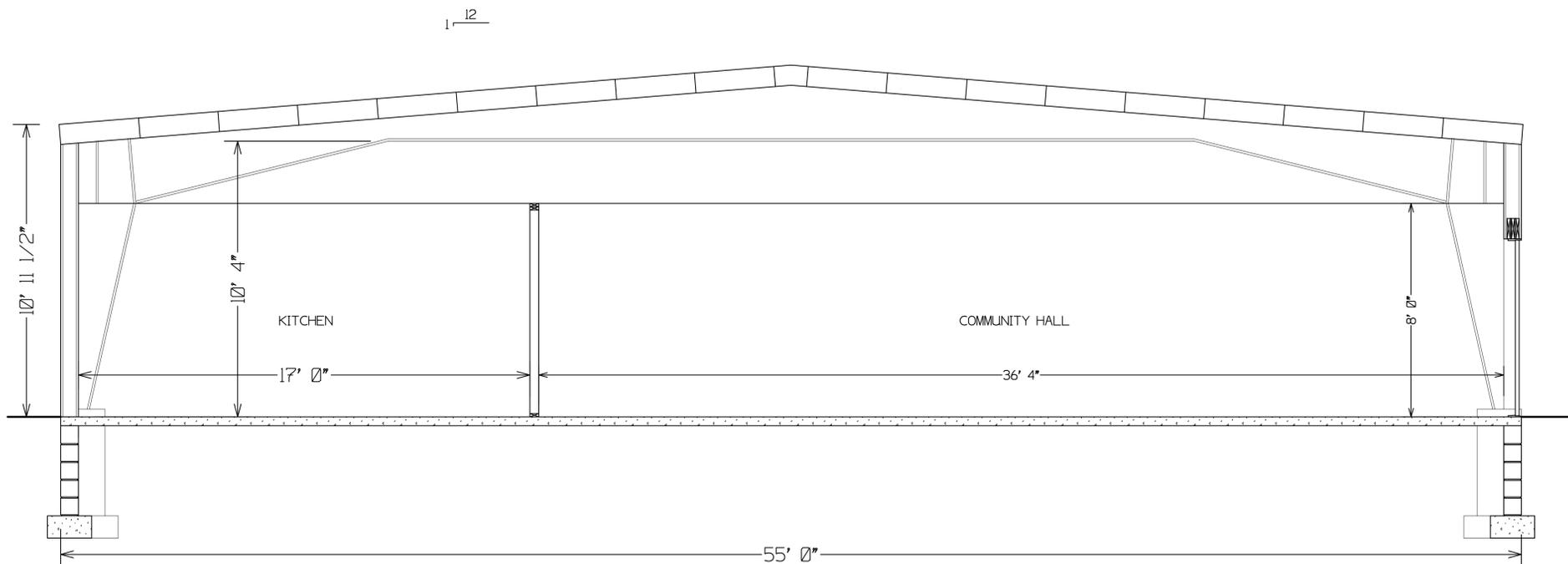
| | |
|--------------------|----------------|
| SECTIONS | REVISED |
| DWG NO 16025 | DRAWN BY MS |
| SCALE 3/8" = 1' 0" | DATE 07 JUL 17 |
| | SHEET A4 |

FIRE STATION ADDITION AND RENOVATION
 NICHOLS JOINT FIRE DISTRICT
 106 W. REVER ROAD, VILLAGE OF NICHOLS
 TIOGA COUNTY, NEW YORK

McIlwain
Engineering
 PO BOX 127, 5 PARK STREET
 NEWARK VALLEY, NEW YORK 13811
 607-462-5300 MCELWAINENGINEERING@YAHOO.COM



 CROSS SECTION B



 CROSS SECTION C

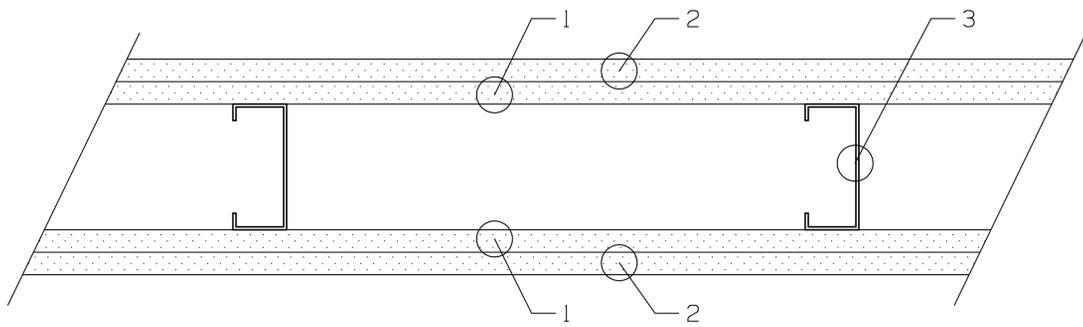
PRELIMINARY DRAWING
NOT FOR CONSTRUCTION

GENERAL NOTES
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| | |
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| SECTIONS | REVISED |
| DWG NO 16025 | DATE |
| SCALE 3/8" = 1' 0" | DRAWN BY MS |
| DATE 07 JUL 17 | SHEET A5 |

FIRE STATION ADDITION AND RENOVATION
 NICHOLS JOINT FIRE DISTRICT
 106 W. REVER ROAD, VILLAGE OF NICHOLS
 TIOGA COUNTY, NEW YORK

McIlwain Engineering
 PO BOX 127, 5 PARK STREET
 NEWARK VALLEY, NEW YORK 13811
 607-642-5300 MCELWAINENGINEERING@YAHOO.COM



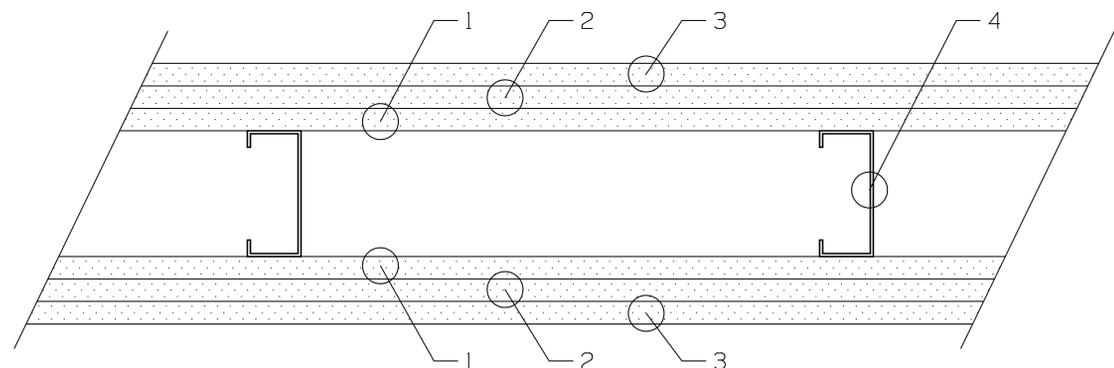
- ① BASE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLE TO EACH SIDE OF 3 5/8" (MIN.) METAL STUDS, 24" O.C. (MAX) WITH 1" TYPE S DRYWALL SCREWS, 24 IN. O.C.
- ② FACE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLE TO EACH SIDE WITH 1 5/8" TYPE S DRYWALL SCREWS, 12 IN. O.C.

STAGGER JOINTS 24" O.C. EACH LAYER AND EACH SIDE.

- ③ 3 5/8" (MIN.) METAL STUDS, 24" ON CENTER (MAX.)

NEW WALL SECTION - 2 HOUR FIRE RATING

REF GYPSUM ASSOCIATION FILE NUMBER WP 1548



- ① BASE LAYER 1/2" PROPRIETARY TYPE *X* GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL TO EACH SIDE OF 3 5/8" STEEL STUDS, 24" O.C. WITH 1" TYPE S DRYWALL SCREWS, 24" O.C.
- ② SECOND LAYER 1/2" PROPRIETARY TYPE *X* GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL TO EACH SIDE WITH 1 5/8" TYPE S DRYWALL SCREWS, 24" O.C.
- ③ FACE LAYER 1/2" PROPRIETARY TYPE *X* GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE WITH 2 1/4" TYPE S DRYWALL SCREWS, 12" O.C. AND 1 1/2" TYPE G DRYWALL SCREWS MIDWAY BETWEEN STUDS 1" ABOVE AND BELOW HORIZONTAL JOINTS FOR RIGHT ANGLE APPLICATION.

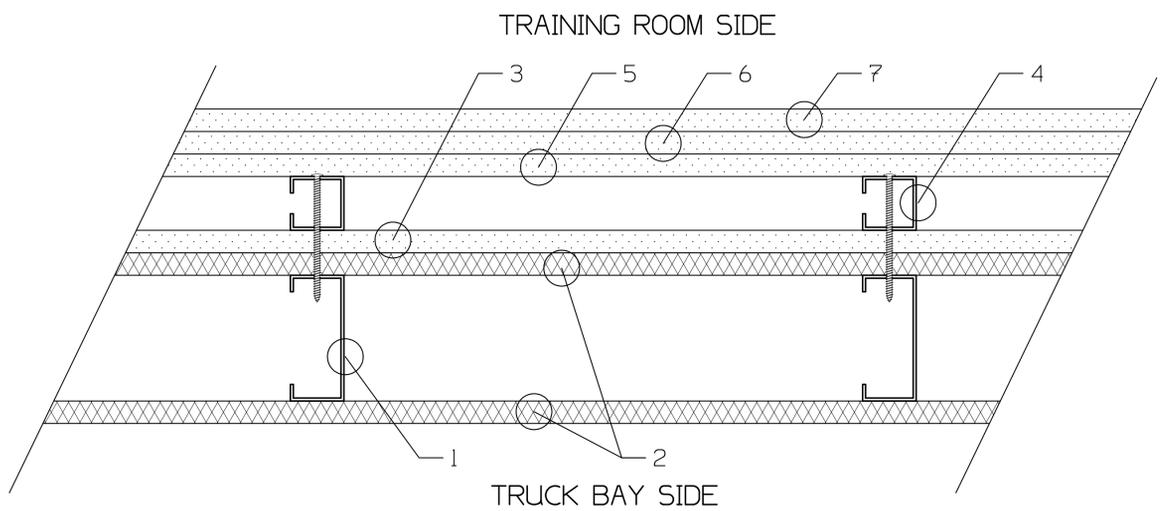
JOINTS STAGGERED 24" EACH LAYER AND SIDE.

- ④ 3 5/8" (MIN.) METAL STUDS, 24" ON CENTER (MAX.)

PROPRIETARY GYPSUM BOARD:
UNITED STATES GYPSUM COMPANY -
1 / 2 " SHEETROCK® BRAND FIRECODE® C CORE GYPSUM PANELS

NEW WALL SECTION - 3 HOUR FIRE RATING

REF GYPSUM ASSOCIATION FILE NUMBER WP 2800



- ① METAL STUDS OF EXISTING BARRIER WALL.
- ② GYPSUM WALLBOARD OF EXISTING BARRIER WALL.
- ③ ONE LAYER 1/2" PROPRIETARY TYPE *X* GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED OVER COMMUNITY HALL SIDE OF EXISTING BARRIER WALL AND SECURED TO EXISTING STUDS WITH 2" TYPE S DRYWALL SCREWS, 24" O.C.
- ④ 1 5/8" (MIN.) METAL STUDS SCREWED TO EXISTING WALL STUDS WITH 3 1/2 IN. LONG, #8 OR #10 STRUCTURAL STEEL SCREWS, 24" O.C.
- ⑤ BASE LAYER 1/2" PROPRIETARY TYPE *X* GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL TO COMMUNITY HALL SIDE OF NEW 1 5/8" STEEL STUDS WITH 1" TYPE S DRYWALL SCREWS, 24" O.C.
- ⑥ SECOND LAYER 1/2" PROPRIETARY TYPE *X* GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL TO COMMUNITY HALL SIDE OF NEW STUDS WITH 1 5/8" TYPE S DRYWALL SCREWS, 24" O.C.
- ⑦ FACE LAYER 1/2" PROPRIETARY TYPE *X* GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO COMMUNITY HALL SIDE OF NEW STUDS WITH 2 1/4" TYPE S DRYWALL SCREWS, 12" O.C. AND 1 1/2" TYPE G DRYWALL SCREWS MIDWAY BETWEEN STUDS 1" ABOVE AND BELOW HORIZONTAL JOINTS FOR RIGHT ANGLE APPLICATION.

JOINTS STAGGERED EACH LAYER.

PROPRIETARY GYPSUM BOARD:
UNITED STATES GYPSUM COMPANY -
1 / 2 " SHEETROCK® BRAND FIRECODE® C CORE GYPSUM PANELS

BUILT-UP EXISTING WALL SECTION

3 HOUR FIRE RATING

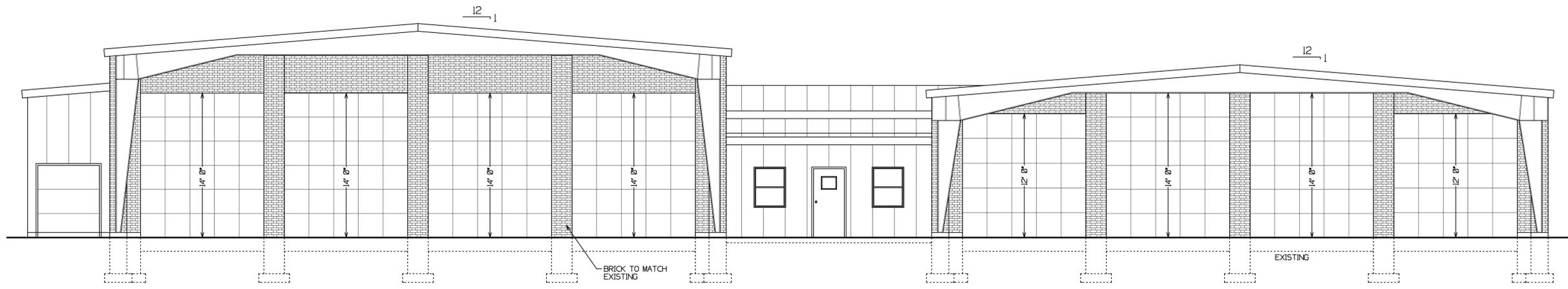
PRELIMINARY DRAWING
NOT FOR CONSTRUCTION

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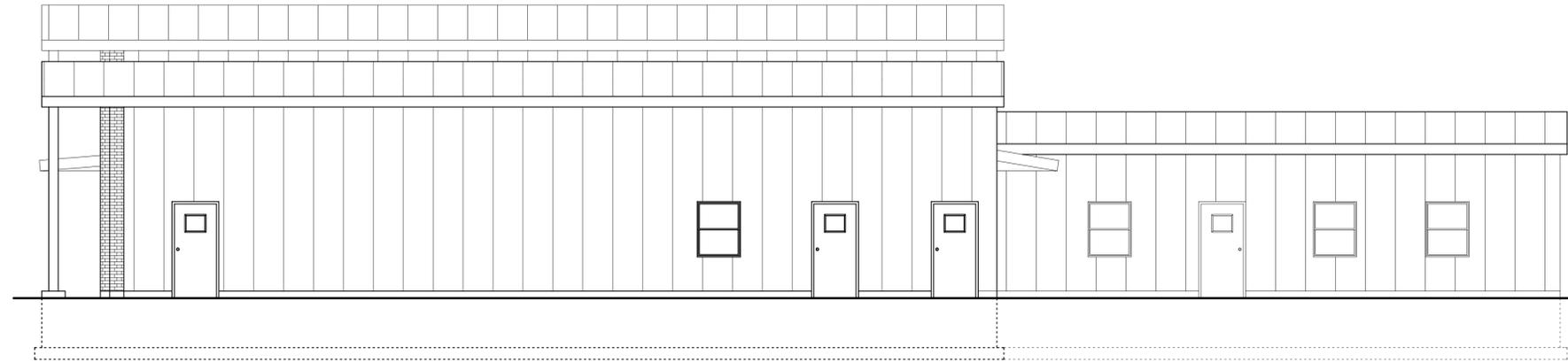
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|--------------------------|--------------|----------|-----------|
| FIRE RATED WALL SECTIONS | REVISED DATE | DRAWN BY | SHEET |
| 06/17/16 | 06/25 | MS | A6 |
| SCALE | NONE | DATE | 07 JUL 17 |

FIRE STATION ADDITION AND RENOVATION
 NICHOLS JOINT FIRE DISTRICT
 106 W. RIVER ROAD, VILLAGE OF NICHOLS
 TIOGA COUNTY, NEW YORK

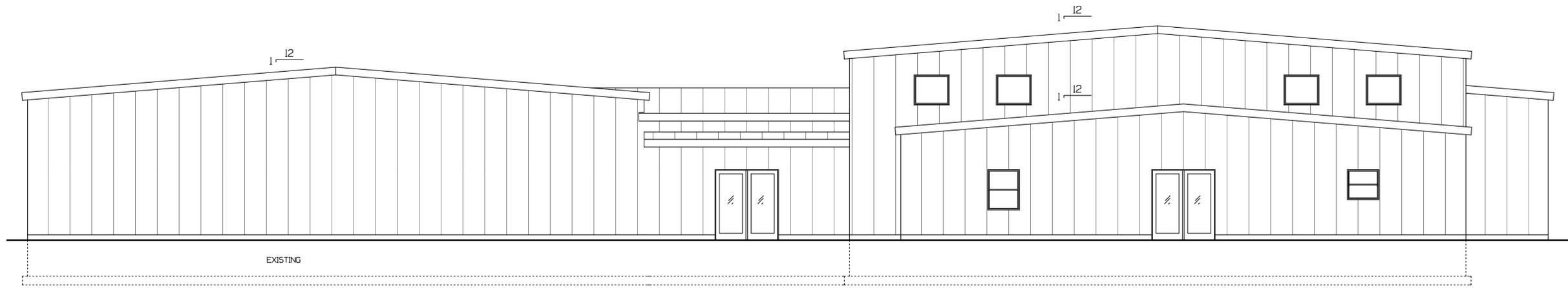
McIlwain Engineering
 PO BOX 127, 5 PARK STREET
 NEWARK VALLEY, NEW YORK 13811
 607-462-5300 MCELWAINENGINEERING.COM



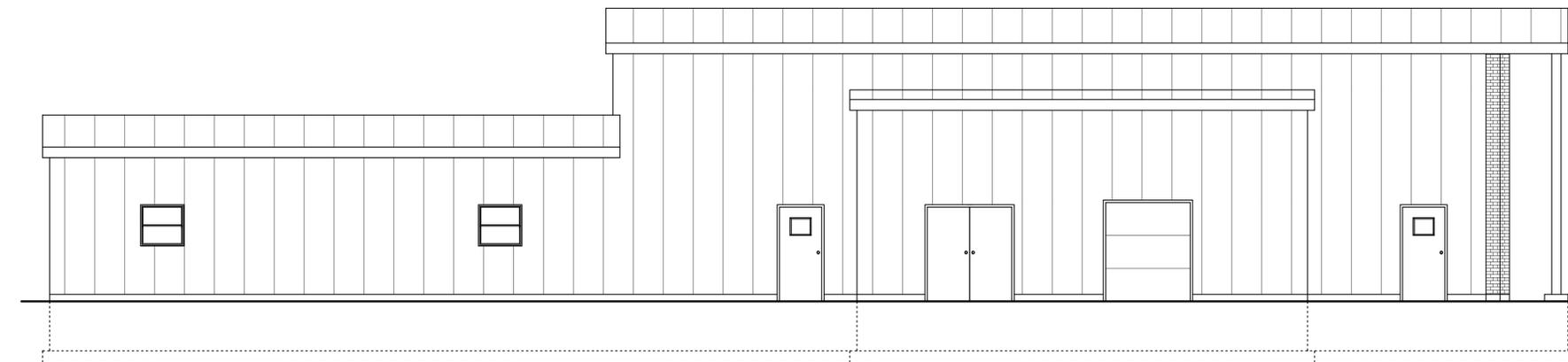
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

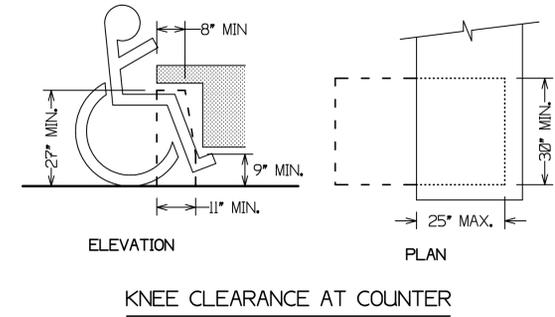
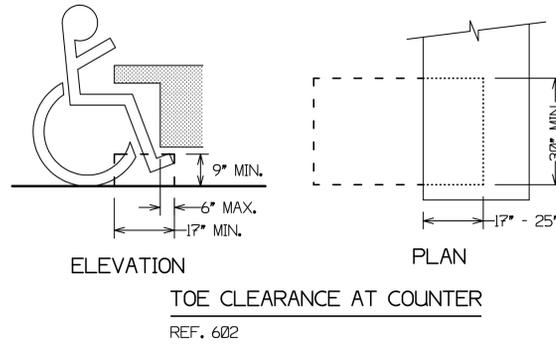
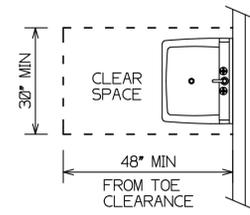
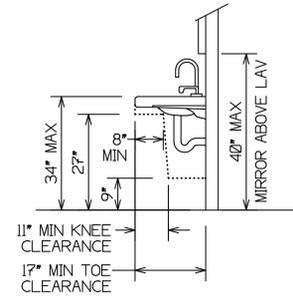
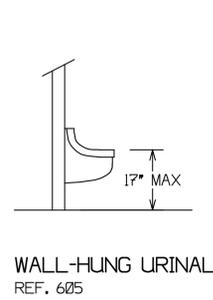
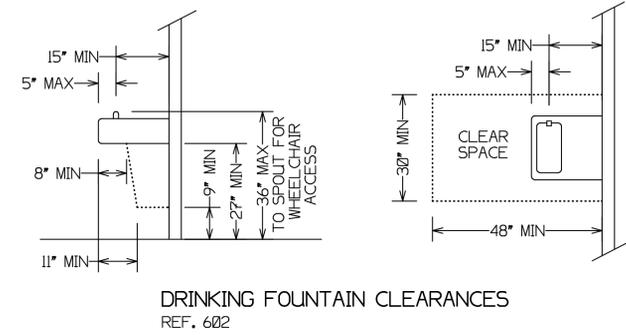
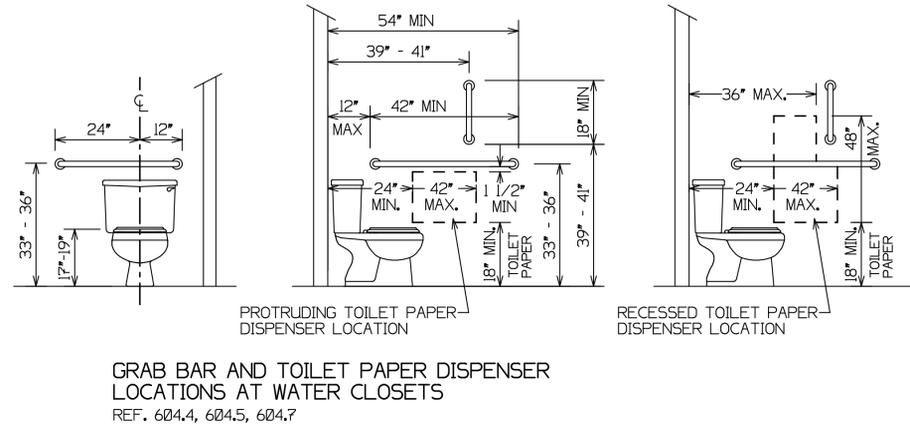
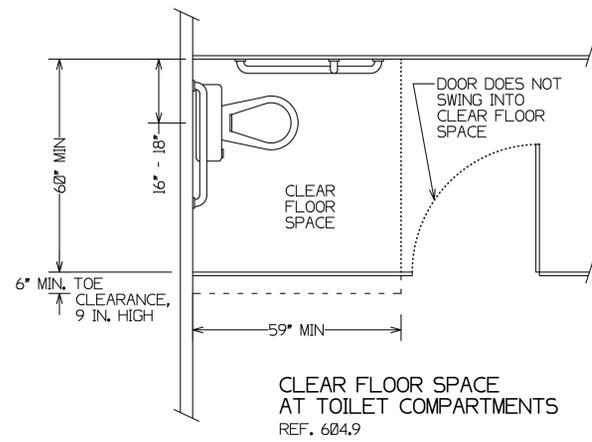
PRELIMINARY DRAWING
NOT FOR CONSTRUCTION

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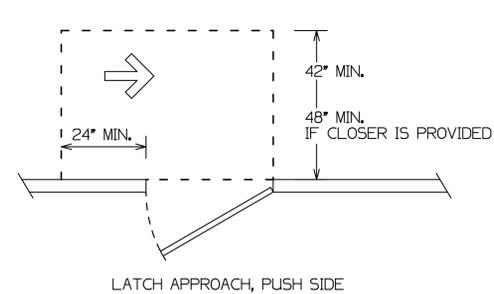
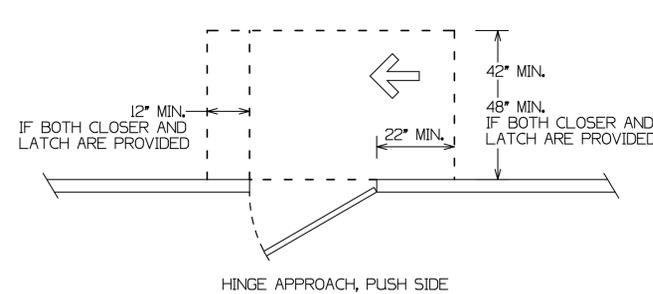
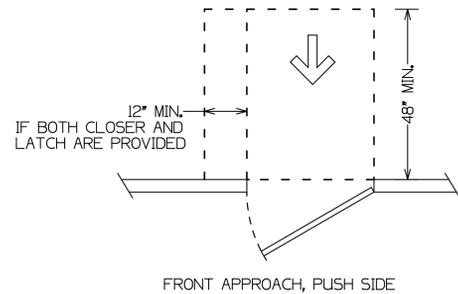
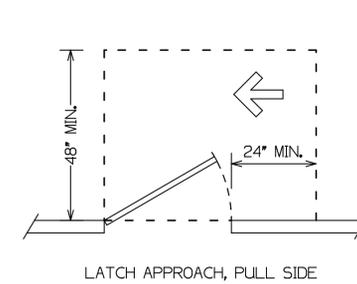
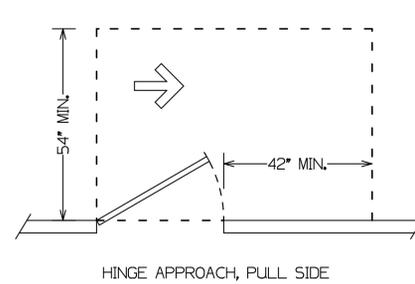
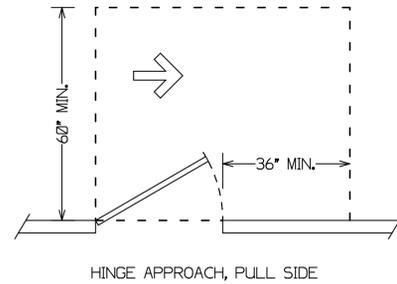
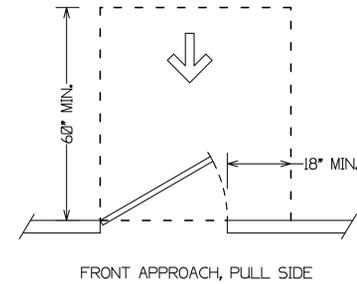
Mclwain Engineering
PO BOX 127, 5 PARK STREET
NEWARK VALLEY, NEW YORK 13811
607-442-5300 MCLWAINENGINEERING@YAHOO.COM

FIRE STATION ADDITION AND RENOVATION
NICHOLS JOINT FIRE DISTRICT
106 W. REVER ROAD, VILLAGE OF NICHOLS
TIOGA COUNTY, NEW YORK

| | | | |
|---------------|-----------------|----------------------|----------|
| ELEVATIONS | REVISED | MS | SHEET A7 |
| DWG NO: 16025 | DATE: 07 JUL 17 | SCALE: 3/16" = 1' 0" | |



ACCESSIBILITY DETAILS
REF. ICC/ANSI A117.1-2009
SCALE: 1/2" = 1'



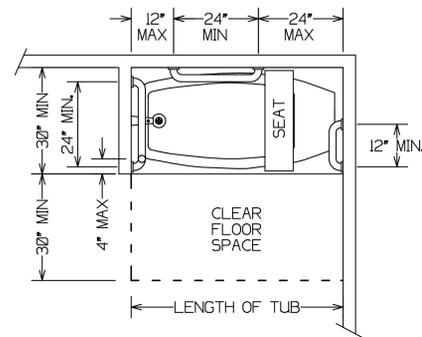
MANEUVERING CLEARANCE AT
MANUAL SWINGING DOORS
REF: ICC/ANSI A117.1-2003/SECT 404.2.3

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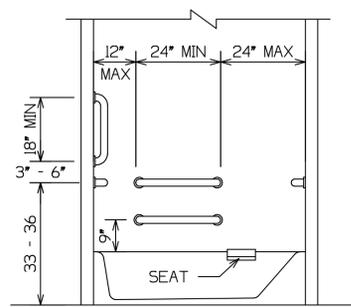
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| ACCESSIBILITY DETAILS/DOOR APPROACHES | REVISED DATE | DRAWN BY | SHEET |
| DWG NO: 16025 | | WHW | A8 |
| SCALE: 1/2" = 1' | | | |
| | DATE: 07 JUL 17 | | |

FIRE STATION ADDITION AND RENOVATION
NICHOLS JOINT FIRE DISTRICT
106 W. RIVER ROAD, VILLAGE OF NICHOLS
TIOGA COUNTY, NEW YORK

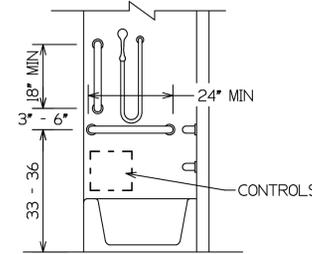
McIlwain
Engineering
PO BOX 127, 5 PARK STREET
NEWARK VALLEY, NEW YORK 13811
607-462-5300 MCELWAINENGINEERING.COM



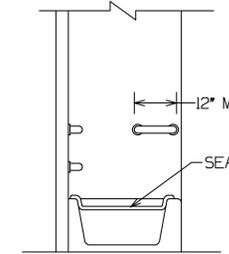
CLEAR FLOOR SPACE AND GRAB BAR LOCATIONS
REF. 607.2, 607.4.2



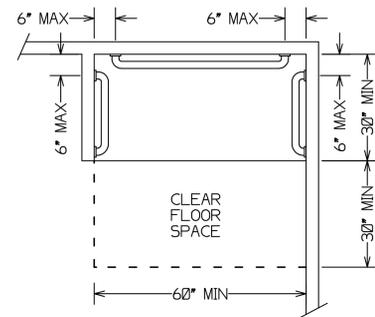
BACK WALL WITH GRAB BAR LOCATIONS
REF. 607.4.2.1



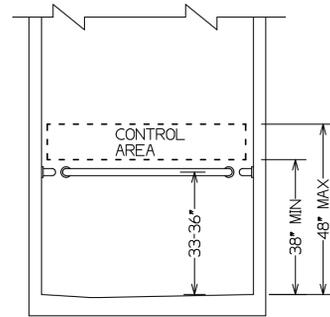
FOOT WALL WITH GRAB BAR & CONTROL LOCATIONS
REF. 607.4.2.2



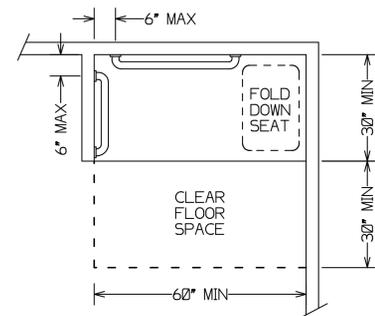
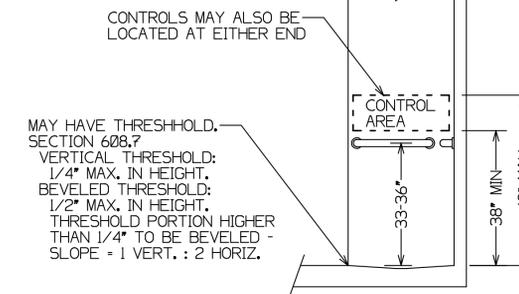
HEAD WALL WITH GRAB BAR LOCATIONS
REF. 607.4.2.3



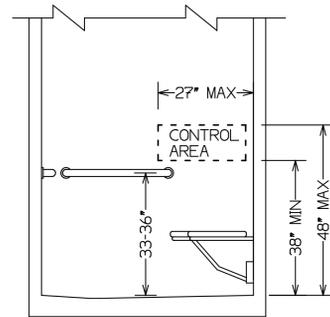
CLEAR FLOOR SPACE AND GRAB BAR LOCATIONS AT STANDARD ROLL-IN-TYPE SHOWER
REF. 608.2.2, 608.3.2



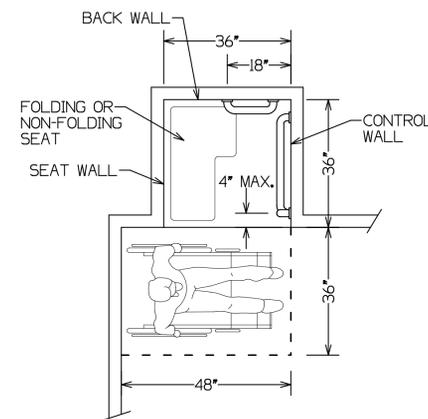
ROLL-IN SHOWER WITH GRAB BAR & AVAILABLE CONTROL LOCATIONS
REF. 608.3.2



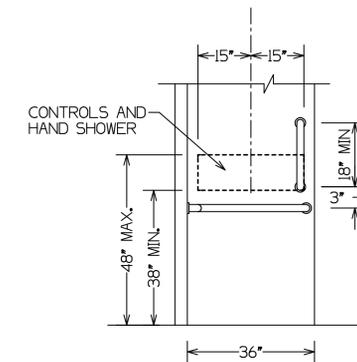
CLEAR FLOOR SPACE AND GRAB BAR LOCATIONS AT ROLL-IN SHOWER WITH FOLD DOWN SEAT
REF. 608.2.2, 608.3.2



ROLL-IN SHOWER WITH FOLD DOWN SEAT WITH GRAB BAR & CONTROL LOCATION
REF. 608.3.2



CLEAR FLOOR SPACE AND GRAB BAR LOCATIONS AT TRANSFER-TYPE SHOWER
REF. 608.2.1, 608.3.1



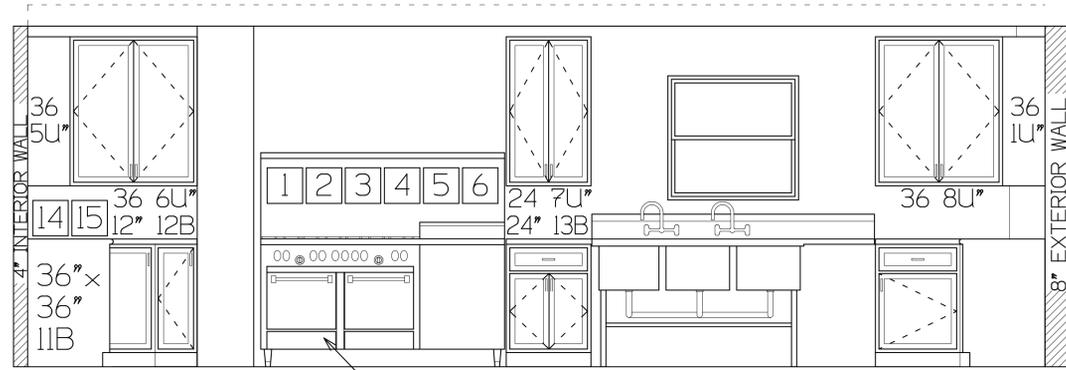
CONTROL WALL WITH GRAB BAR & CONTROL LOCATIONS
REF. 608.3.1, 608.5.1

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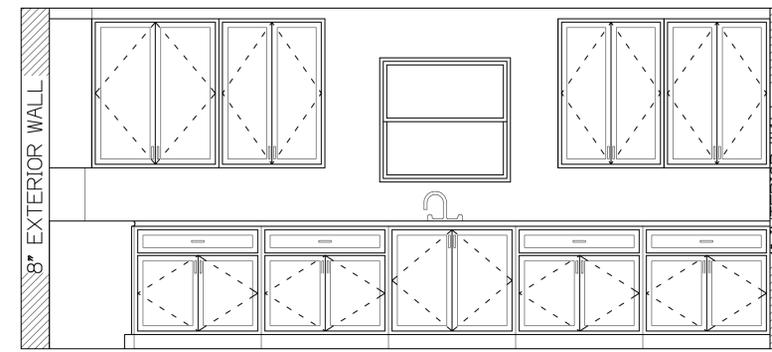
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| RESTROOMS | REVISED DATE | DRAWN BY | SHEET |
| 0167.16025 | | WHW | A9 |
| SCALE | DATE | | |
| 1/2" = 1' 0" | 07 JUL 17 | | |

FIRE STATION ADDITION AND RENOVATION
NICHOLS JOINT FIRE DISTRICT
106 W. RIVER ROAD, VILLAGE OF NICHOLS
TIOGA COUNTY, NEW YORK

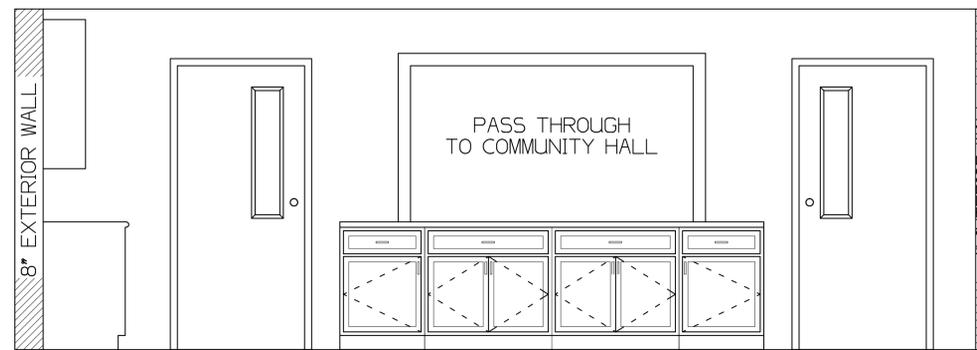
McIlwain Engineering
PO BOX 127, 5 PARK STREET
NEWARK VALLEY, NEW YORK 13811
607-462-5500 MCELWAINENGINEERING@YAHOO.COM



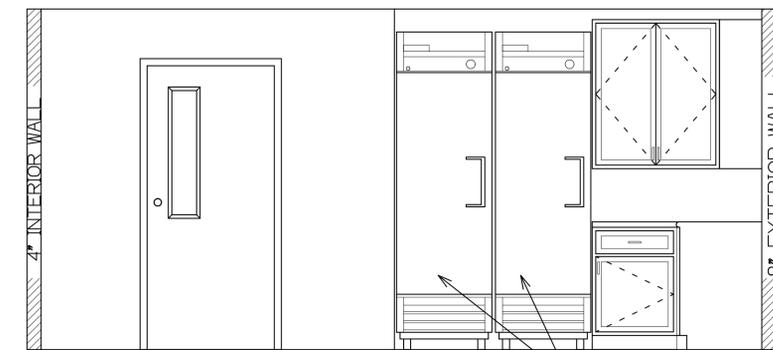
SEE NOTE K1
EAST ELEVATION



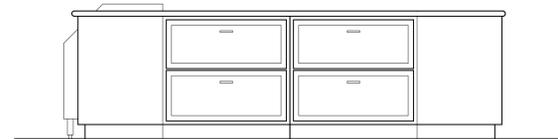
SOUTH ELEVATION



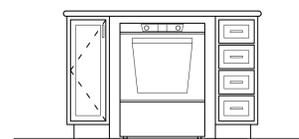
WEST ELEVATION



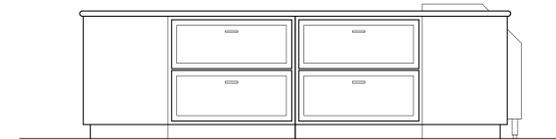
NORTH ELEVATION
SEE NOTE K1



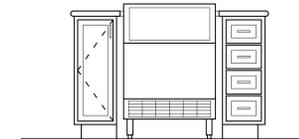
ISLAND WEST SIDE ELEVATION



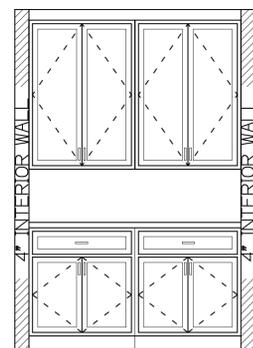
ISLAND SOUTH END ELEVATION



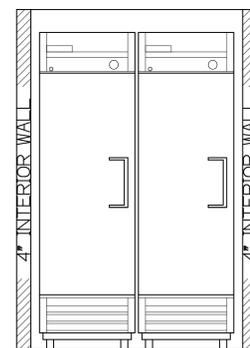
ISLAND EAST SIDE ELEVATION



ISLAND NORTH END ELEVATION



PANTRY/UTILITY WEST ELEVATION



PANTRY/UTILITY EAST ELEVATION

PRELIMINARY DRAWING
NOT FOR CONSTRUCTION

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| | | |
|--------------------|----------------|----------|
| KITCHEN ELEVATIONS | REV DATE | MS |
| 08/10/16/025 | | |
| SCALE 1/2" = 1' 0" | DATE 07 JUL 17 | SHEET K2 |

FIRE STATION ADDITION AND RENOVATION
NICHOLS JOINT FIRE DISTRICT
106 W. REVER ROAD, VILLAGE OF NICHOLS
TIOGA COUNTY, NEW YORK

McIlwain Engineering
PO BOX 127, 5 PARK STREET
NEWARK VALLEY, NEW YORK 13811
607-642-5300 MCELWAINENGINEERING@YAHOO.COM

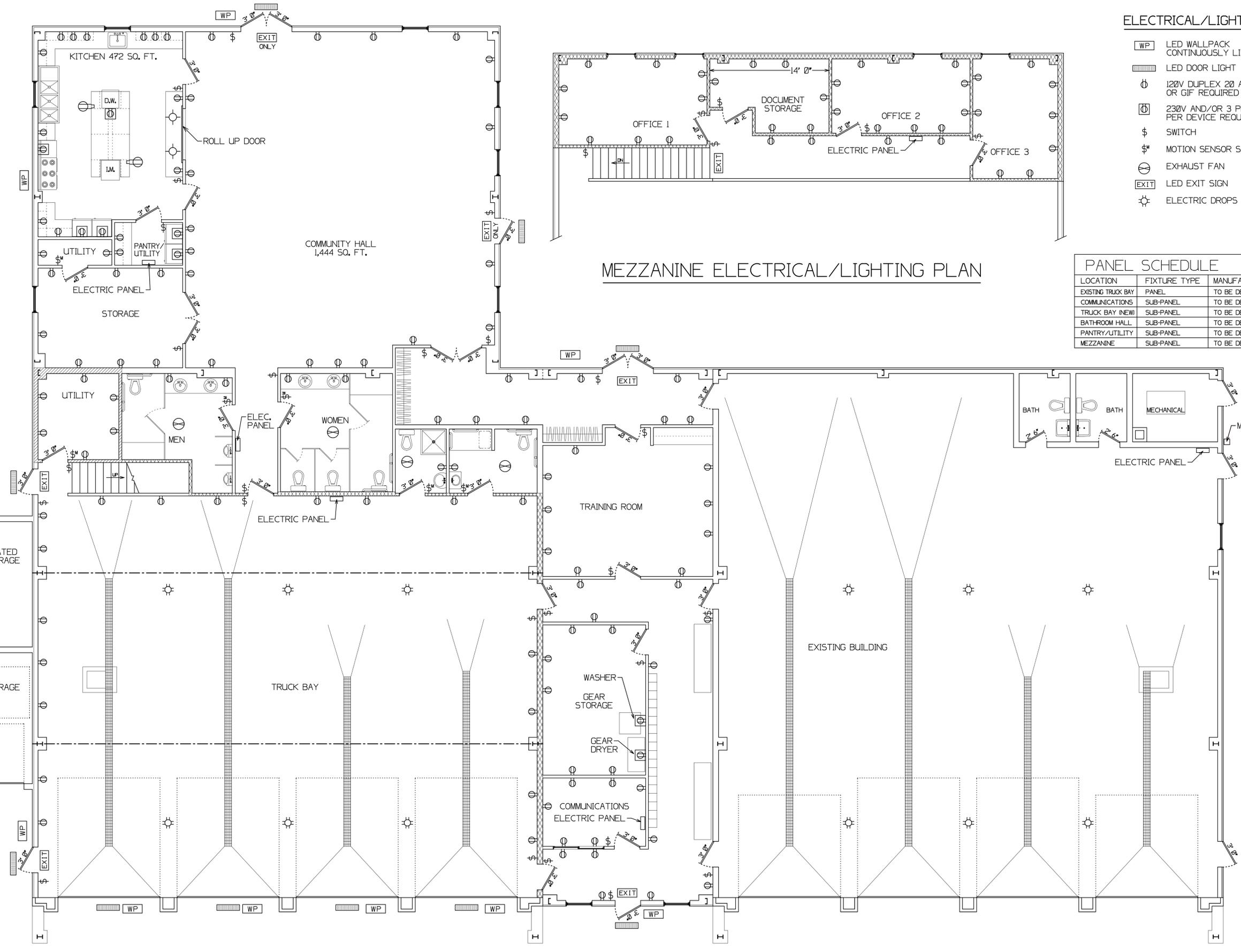
ELECTRICAL/LIGHTING LEGEND

- WP LED WALLPACK
CONTINUOUSLY LIT DUSK TO DAWN
- LED DOOR LIGHT
- 120V DUPLEX 20 AMP OUTLET
OR GIF REQUIRED BY NEC
- 230V AND/OR 3 PHASE OUTLET
PER DEVICE REQUIREMENT
- \$ SWITCH
- \$M MOTION SENSOR SWITCH
- EXHAUST FAN
- EXIT LED EXIT SIGN
- ELECTRIC DROPS - TRUCK BAY

PANEL SCHEDULE

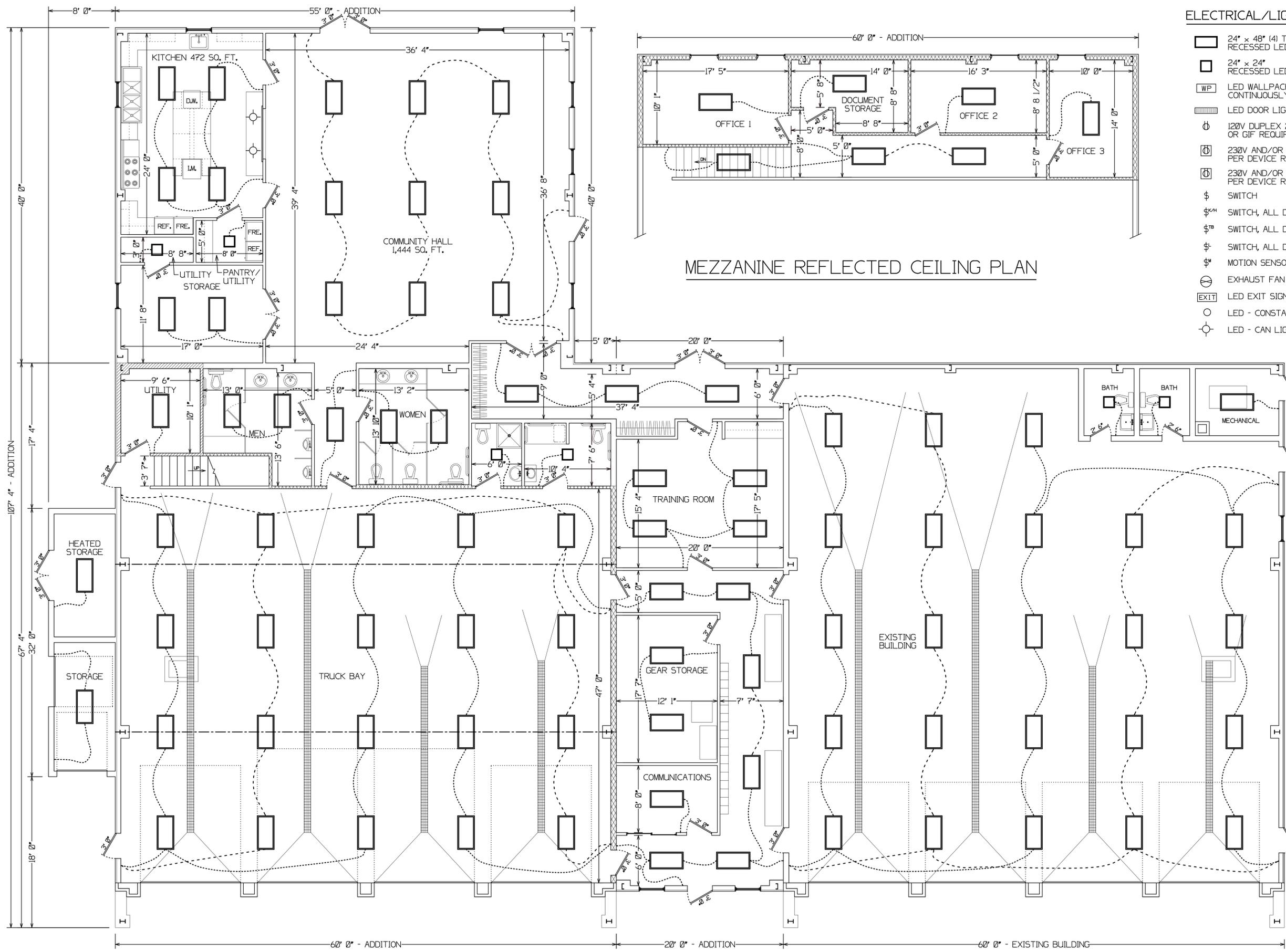
| LOCATION | FIXTURE TYPE | MANUFACTURER | SPECIFICATIONS |
|--------------------|--------------|------------------|----------------|
| EXISTING TRUCK BAY | PANEL | TO BE DETERMINED | 200-400 AMP |
| COMMUNICATIONS | SUB-PANEL | TO BE DETERMINED | 200 AMP |
| TRUCK BAY (NEW) | SUB-PANEL | TO BE DETERMINED | 200 AMP |
| BATH-ROOM HALL | SUB-PANEL | TO BE DETERMINED | 200 AMP |
| PANTRY/UTILITY | SUB-PANEL | TO BE DETERMINED | 200 AMP |
| MEZZANINE | SUB-PANEL | TO BE DETERMINED | 200 AMP |

MEZZANINE ELECTRICAL/LIGHTING PLAN



FIRST FLOOR ELECTRICAL/LIGHTING PLAN

GENERAL NOTES
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ELECTRICAL/LIGHTING LEGEND

- 24" x 48" (4) TUBE RECESSED LED
- 24" x 24" RECESSED LED
- LED WALLPACK CONTINUOUSLY LIT DUSK TO DAWN
- LED DOOR LIGHT
- 120V DUPLEX 20 AMP OUTLET OR GFI REQUIRED BY NEC
- 230V AND/OR 3 PHASE OUTLET PER DEVICE REQUIREMENT
- 230V AND/OR 3 PHASE OUTLET PER DEVICE REQUIREMENT
- SWITCH
- SWITCH, ALL DOORS, KITCHEN, HALL
- SWITCH, ALL DOORS, TRUCK BAYS
- SWITCH, ALL DOORS, LOUNGE/TRAINING AREA
- MOTION SENSOR SWITCH
- EXHAUST FAN
- LED EXIT SIGN
- LED - CONSTANT LIGHTING
- LED - CAN LIGHT

MEZZANINE REFLECTED CEILING PLAN

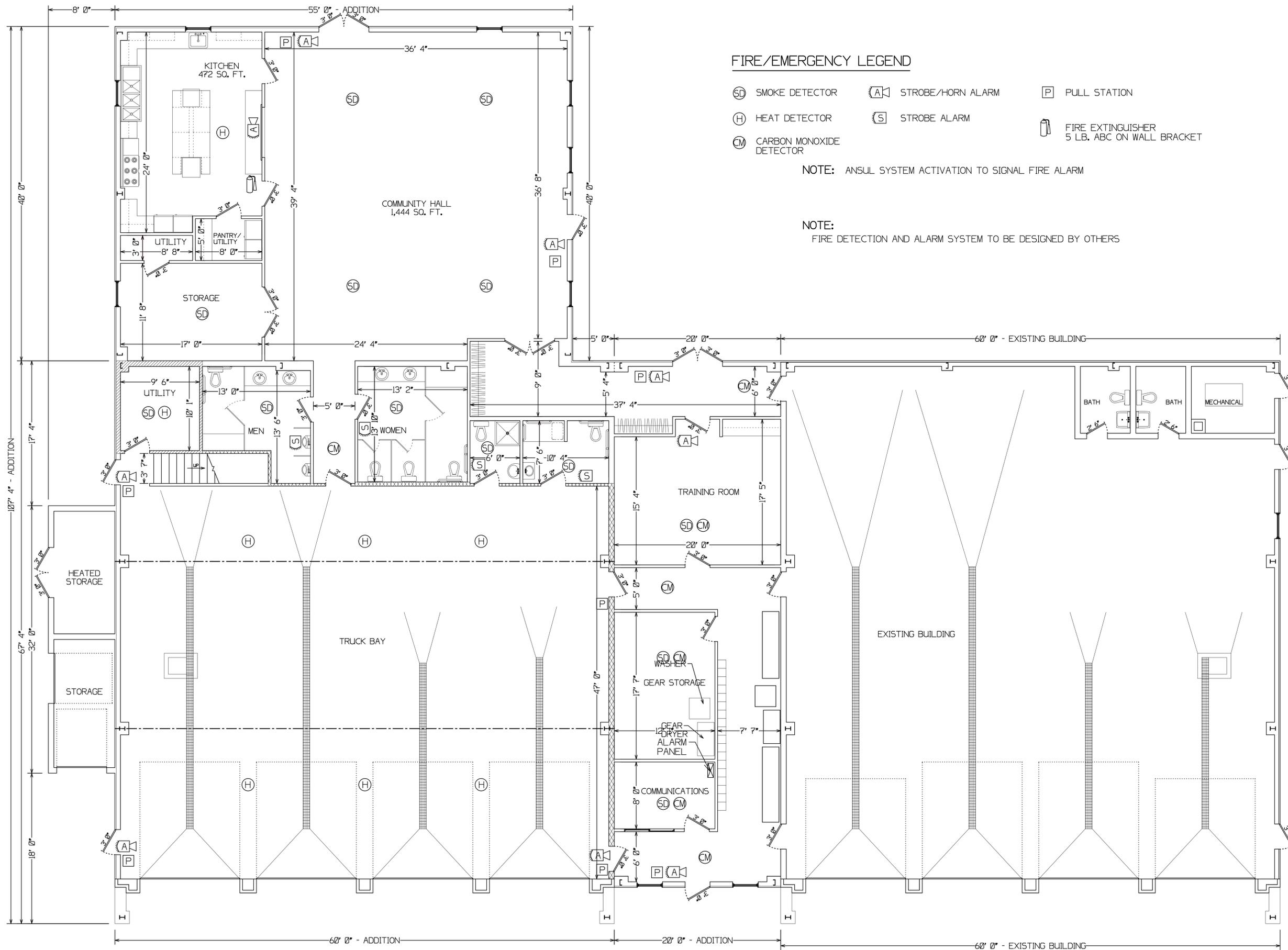
FIRST FLOOR REFLECTED CEILING PLAN

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| | | | | | |
|-------------------------|-------------|---------------|----|-------|--------|
| REFLECTED CEILING PLANS | REVISE DATE | DRAWN BY | MS | SHEET | E2 |
| 06/10/16/025 | | 3/16" = 1' 0" | | 07 | JUL 17 |

FIRE STATION ADDITION AND RENOVATION
 NICHOLS JOINT FIRE DISTRICT
 106 W. RIVER ROAD, VILLAGE OF NICHOLS
 TIOGA COUNTY, NEW YORK

McIlwain Engineering
 PO BOX 127, 5 PARK STREET
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FIRE/EMERGENCY LEGEND

- SD SMOKE DETECTOR
- H HEAT DETECTOR
- CM CARBON MONOXIDE DETECTOR
- A STROBE/HORN ALARM
- S STROBE ALARM
- P PULL STATION
- FIRE EXTINGUISHER 5 LB. ABC ON WALL BRACKET

NOTE: ANSUL SYSTEM ACTIVATION TO SIGNAL FIRE ALARM

NOTE:
FIRE DETECTION AND ALARM SYSTEM TO BE DESIGNED BY OTHERS

LIFE SAFETY PLAN

GENERAL NOTES

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| | |
|------------------|----------------------|
| LIFE SAFETY PLAN | REV. DATE |
| DWG NO: 16025 | SCALE: 3/16" = 1' 0" |
| DATE: 07 JUL 17 | DRAWN BY: MS |
| | SHEET: F1 |

FIRE STATION ADDITION AND RENOVATION
 NICHOLS JOINT FIRE DISTRICT
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| | | | |
|----------------------|----------------|----------|-------|
| EXHAUST REMOVAL PLAN | REV. DATE | DRAWN BY | SHEET |
| 06/10/16/025 | | MS | MI |
| SCALE 3/16" = 1' 0" | DATE 07 JUL 17 | | |

EXHAUST SYSTEM LEGEND

-  FLEXIBLE HOSE TO CEILING TO EXHAUST
-  EXHAUST DUCT

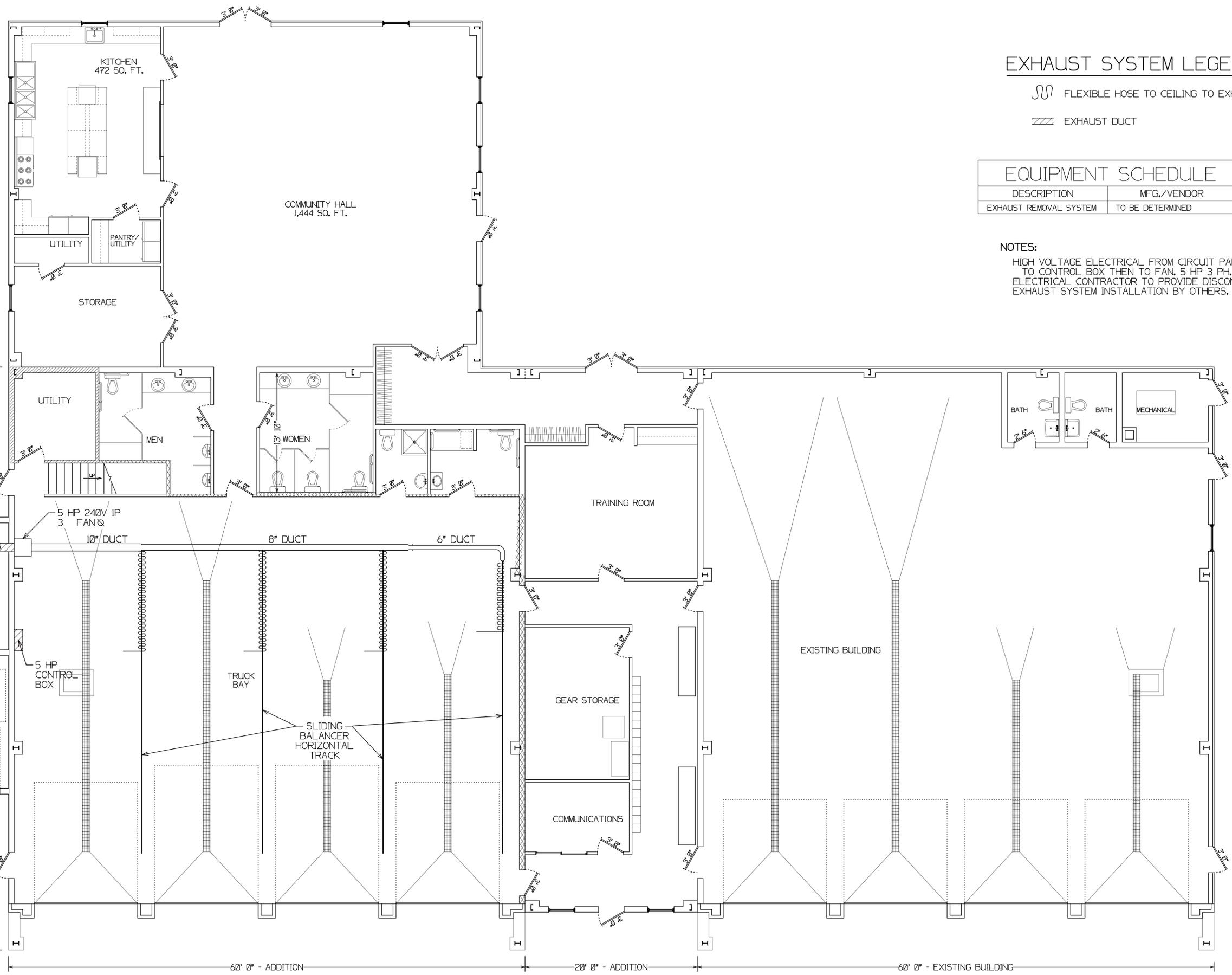
EQUIPMENT SCHEDULE

| DESCRIPTION | MFG./VENDOR | CONTACT NO. |
|------------------------|------------------|-------------|
| EXHAUST REMOVAL SYSTEM | TO BE DETERMINED | |

NOTES:

HIGH VOLTAGE ELECTRICAL FROM CIRCUIT PANEL TO CONTROL BOX THEN TO FAN, 5 HP 3 PH, 13 AMPS. ELECTRICAL CONTRACTOR TO PROVIDE DISCONNECT ONLY. EXHAUST SYSTEM INSTALLATION BY OTHERS.

12" VEHICLE EXHAUST DUCTED STACK WITH ANTI-DRAFT DAMPER ON TOP, 36" FROM ROOF TO TOP OF STACK.



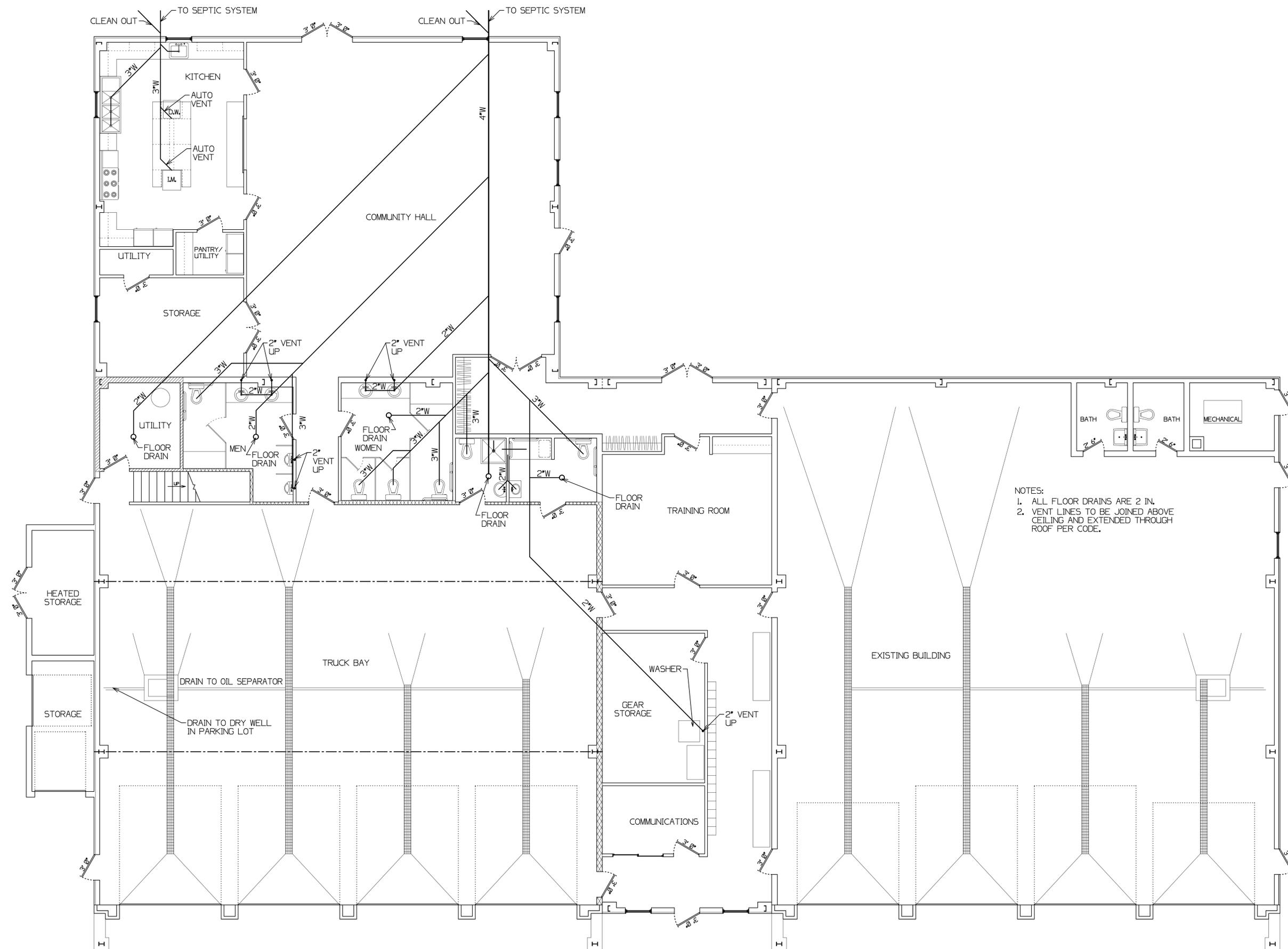
EXHAUST REMOVAL PLAN

GENERAL NOTES

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 PO BOX 127, 5 PARK STREET
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NOTES:
 1. ALL FLOOR DRAINS ARE 2 IN.
 2. VENT LINES TO BE JOINED ABOVE CEILING AND EXTENDED THROUGH ROOF PER CODE.

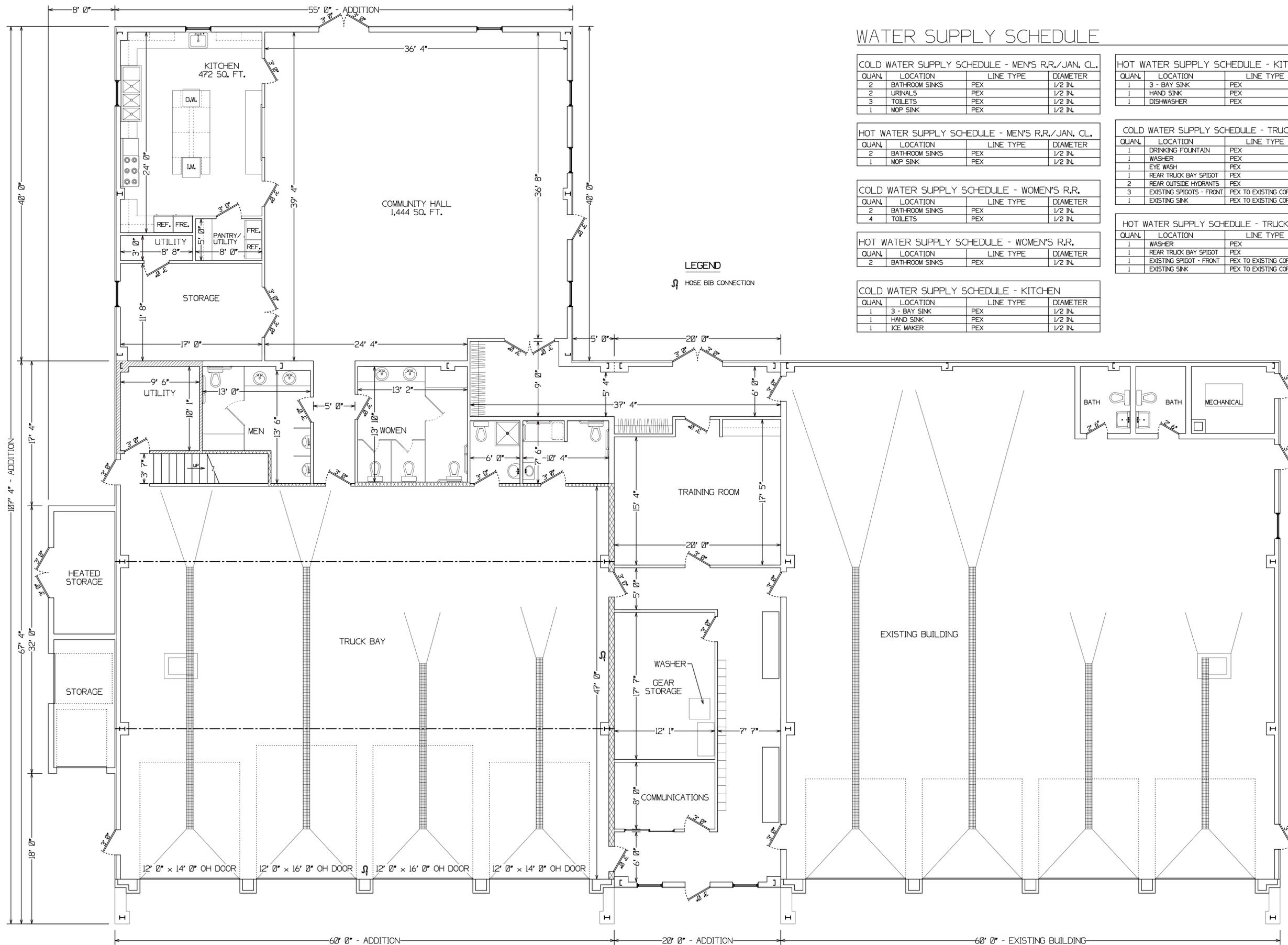
FIRST FLOOR PLUMBING WASTE PLAN

GENERAL NOTES
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| | |
|----------------------|-----------------|
| PLUMBING PLAN | REV. DATE |
| DWG NO: 16025 | DRAWN BY: MS |
| SCALE: 3/16" = 1' 0" | DATE: 07 JUL 17 |
| | SHEET: P1 |

FIRE STATION ADDITION AND RENOVATION
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WATER SUPPLY SCHEDULE

COLD WATER SUPPLY SCHEDULE - MEN'S R.R./JAN. CL.

| QUAN. | LOCATION | LINE TYPE | DIAMETER |
|-------|----------------|-----------|----------|
| 2 | BATHROOM SINKS | PEX | 1/2 IN. |
| 2 | URINALS | PEX | 1/2 IN. |
| 3 | TOILETS | PEX | 1/2 IN. |
| 1 | MOP SINK | PEX | 1/2 IN. |

HOT WATER SUPPLY SCHEDULE - KITCHEN

| QUAN. | LOCATION | LINE TYPE | DIAMETER |
|-------|--------------|-----------|----------|
| 1 | 3 - BAY SINK | PEX | 1/2 IN. |
| 1 | HAND SINK | PEX | 1/2 IN. |
| 1 | DISHWASHER | PEX | 1/2 IN. |

HOT WATER SUPPLY SCHEDULE - MEN'S R.R./JAN. CL.

| QUAN. | LOCATION | LINE TYPE | DIAMETER |
|-------|----------------|-----------|----------|
| 2 | BATHROOM SINKS | PEX | 1/2 IN. |
| 1 | MOP SINK | PEX | 1/2 IN. |

COLD WATER SUPPLY SCHEDULE - TRUCK BAY/LOUNGE

| QUAN. | LOCATION | LINE TYPE | DIAMETER |
|-------|--------------------------|------------------------|----------|
| 1 | DRINKING FOUNTAIN | PEX | 1/2 IN. |
| 1 | WASHER | PEX | 3/4 IN. |
| 1 | EYE WASH | PEX | 3/4 IN. |
| 1 | REAR TRUCK BAY SPIGOT | PEX | 3/4 IN. |
| 2 | REAR OUTSIDE HYDRANTS | PEX | 3/4 IN. |
| 3 | EXISTING SPIGOTS - FRONT | PEX TO EXISTING COPPER | 3/4 IN. |
| 1 | EXISTING SINK | PEX TO EXISTING COPPER | 3/4 IN. |

COLD WATER SUPPLY SCHEDULE - WOMEN'S R.R.

| QUAN. | LOCATION | LINE TYPE | DIAMETER |
|-------|----------------|-----------|----------|
| 2 | BATHROOM SINKS | PEX | 1/2 IN. |
| 4 | TOILETS | PEX | 1/2 IN. |

HOT WATER SUPPLY SCHEDULE - TRUCK BAY/LOUNGE

| QUAN. | LOCATION | LINE TYPE | DIAMETER |
|-------|-------------------------|------------------------|----------|
| 1 | WASHER | PEX | 3/4 IN. |
| 1 | REAR TRUCK BAY SPIGOT | PEX | 3/4 IN. |
| 1 | EXISTING SPIGOT - FRONT | PEX TO EXISTING COPPER | 3/4 IN. |
| 1 | EXISTING SINK | PEX TO EXISTING COPPER | 3/4 IN. |

HOT WATER SUPPLY SCHEDULE - WOMEN'S R.R.

| QUAN. | LOCATION | LINE TYPE | DIAMETER |
|-------|----------------|-----------|----------|
| 2 | BATHROOM SINKS | PEX | 1/2 IN. |

COLD WATER SUPPLY SCHEDULE - KITCHEN

| QUAN. | LOCATION | LINE TYPE | DIAMETER |
|-------|--------------|-----------|----------|
| 1 | 3 - BAY SINK | PEX | 1/2 IN. |
| 1 | HAND SINK | PEX | 1/2 IN. |
| 1 | ICE MAKER | PEX | 1/2 IN. |

LEGEND
 HOSE BIB CONNECTION

FIRST FLOOR WATER SUPPLY PLAN

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WATER SUPPLY PLAN

| | | | |
|-------|---------------|----------|----|
| DATE | 07 JUL 17 | SHEET | P2 |
| SCALE | 3/16" = 1' 0" | DRAWN BY | MS |
| DATE | 07 JUL 17 | SHEET | P2 |

FIRE STATION ADDITION AND RENOVATION
 NICHOLS JOINT FIRE DISTRICT
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 TIOGA COUNTY, NEW YORK

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PLUMBING LOCATION ORIGIN
X
Y

PLUMBING LOCATION MAP

| NO. | FIXTURE | X | Y | DRAIN LINE SIZE |
|-----|-----------------------------|-------------|------------|-----------------|
| 1 | 3 BAY SINK | 2' 0" | 7' 1" | 3 IN. LD. |
| 2 | HAND SINK | 10' 0" | 1' 9" | 2 IN. LD. |
| 3 | DISHWASHER | 9' 2" | 9' 7 1/2" | 2 IN. LD. |
| 4 | ICE MAKER | 9' 2" | 15' 8 1/2" | 2 IN. LD. |
| 5 | MECHANICAL ROOM FLOOR DRAIN | 4' 8" | 47' 0" | 2 IN. LD. |
| 6 | ACCESSIBLE MENS TOILET | 12' 1" | 42' 6 1/2" | 3 IN. LD. |
| 7 | MENS BATH SINKS | 20' 11 1/2" | 40' 4" | 2 IN. LD. |
| 8 | MENS ROOM FLOOR DRAIN | 19' 1" | 47' 0" | 2 IN. LD. |
| 9 | URINAL | 23' 8" | 49' 8 1/2" | 3 IN. LD. |
| 10 | URINAL | 23' 8" | 53' 0 1/2" | 3 IN. LD. |
| 11 | WOMENS BATH SINKS | 32' 0 1/2" | 40' 4" | 2 IN. LD. |
| 12 | WOMENS ROOM FLOOR DRAIN | 34' 9 1/2" | 44' 5 1/2" | 2 IN. LD. |
| 13 | WOMENS TOILET | 31' 3" | 52' 8" | 3 IN. LD. |
| 14 | WOMENS TOILET | 35' 4" | 52' 8" | 3 IN. LD. |
| 15 | ACCESSIBLE WOMENS TOILET | 40' 9" | 52' 8" | 3 IN. LD. |
| 16 | TOILET | 44' 0" | 49' 0" | 3 IN. LD. |
| 17 | SHOWER | 47' 2" | 48' 8" | 2 IN. LD. |
| 18 | BATH FLOOR DRAIN | 46' 7" | 51' 7 1/2" | 2 IN. LD. |
| 19 | BATH SINK | 47' 9" | 53' 2" | 2 IN. LD. |
| 20 | BATH SINK | 49' 10" | 53' 2" | 2 IN. LD. |
| 21 | ACCESSIBLE SHOWER | 51' 0 1/2" | 58' 5 1/2" | 2 IN. LD. |
| 22 | BATH FLOOR DRAIN | 55' 3" | 51' 10" | 2 IN. LD. |
| 23 | ACCESSIBLE TOILET | 57' 9" | 49' 0" | 3 IN. LD. |
| 24 | CLOTHES WASHER | 77' 10 1/2" | 81' 7" | 2 IN. LD. |
| 25 | HOSE RISER | 59' 1 1/2" | 77' 6" | 2 IN. LD. |
| 26 | HOSE RISER | 30' 0" | 101' 6" | 2 IN. LD. |



NOTES:
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PLUMBING FIXTURE LOCATION PLAN

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PLUMBING FIXTURE LOCATION PLAN
 DWG NO: 16025
 SCALE: 3/16" = 1' 0"
 DATE: 07 JUL 17
 DRAWN BY: MS
 SHEET: P3

FIRE STATION ADDITION AND RENOVATION
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 TIOGA COUNTY, NEW YORK

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 PO BOX 127, 5 PARK STREET
 NEWARK VALLEY, NEW YORK 13811
 607-442-5300 MCELWAINENGINEERING@YAHOO.COM

Involved/Interested Agencies –Nichols Joint Fire Station, Village of Nichols

Involved

The Honorable Lesley Pelotte, Mayor
Village of Nichols
54 East River Road
Nichols, NY 13812

Kevin Engelbert, Town Supervisor
Town of Nichols
54 East River Road
Nichols, NY 13812

David Bimber, Regional Permit Administrator, Region 7
New York State Department of Environmental Conservation
615 Erie Blvd. West
Syracuse, NY 13204

Gary Hammond, P.E
Commissioner of Public Works
Tioga County Department of Public Works
477 Route 96
Owego NY 13827

Interested

Mr. Ron Rausch, Director
Environmental Management Bureau
Office of Parks, Recreation and Historic Preservation
625 Broadway, 2nd Floor
Albany, New York 12238

Mr. Richard Lord
Chief of Mitigation Programs & Agency Preservation Officer
NYS Division of Homeland Security & Emergency Services
1220 Washington Avenue
Bldg 7A, Floor 4
Albany NY 12242

John Strepelis, P.E., M.E.
Regional Environmental Health Director
NYS Department of Health
Central New York Regional Office
217 South Salina St.
Syracuse NY 13202

Wendy Walsh, Director
Tioga County Soil and Water Conservation District
183 Corporate Drive
Owego, NY 13827

Andrea Klett, County Clerk
Tioga County
16 Court Street
P.O. Box 307
Owego, NY 13827

Mike Simmons
Director of Emergency Management
Tioga County
103 Corporate Drive
Owego, NY 13827

Frank Okrasinski, Fire Coordinator
Tioga County
103 Corporate Drive
Owego, NY 13827

Susquehanna River Basin Commission
1760 Elmira Street
Sayre, PA 18840