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CORPORATION

Environmental Assessment Determinations and Compliance Findings for HUD-assisted Projects 24 CFR Part 58

Project Information

Project Name & SHARS No.: Ludlow Commons, Yonkers, NY
SHARS No.-200146004

Responsible Entity: New York State Governor's Office of Storm Recovery

Grant Recipient: Westhab, Inc.

State/Local Identifier:

Preparer: Tetra Tech

Certifying Officer Name and Title:
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Project Location:

The project site is an approximately 0.6-acre parcel at 7-17 Ludlow Street in the City of Yonkers, Westchester County, New York (see attached **Figure 1**). The rectangular parcel includes 175 feet of frontage on the northern side of Ludlow Street and extends 160 feet to the north. The site is currently composed of two, small, vacant one- to two-story structures built in 1924 and previously used as a taxi dispatch/auto repair shop. The rest of the site is a paved parking area.

Adjacent properties include apartment buildings and single-family residences to the north and south, the Bethany African Methodist Episcopal Church to the west, and mixed residential and commercial buildings to the east. Land uses in the vicinity include mixed residential and commercial one- to four-story buildings to the east along South Broadway, residential multi-family two- to six-story buildings to the north, and two- to four-story residential, medical office, religious and educational buildings to the west and south.

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

The proposed project, sponsored by Westhab, Inc., involves construction of one building with eight floors and a total of 63,982 square feet. The building would include 71 units—70 one-bedroom units of senior housing and 1 two-bedroom superintendent unit. The building has been designed to help older adults “age-in-place.” Eight units would be accessible for mobility impaired residents, and three units would be adapted for visual and hearing impaired residents. The facade would consist of a combination of brick and metal panels. The building would include two elevators. All apartments and common areas would enable persons in wheelchairs to freely move around the building. Windows would be energy efficient aluminum windows with integrated sun shades on the south facade. In particular, windows and common areas were designed to provide abundant light, clear sight paths, and numerous opportunities for both socialization and for quiet space. Door handles, light switches, plumbing fixtures, and appliance controls would be selected to provide ease of use.

The front of the building would have a ground floor laundry and a community room with attached exercise/yoga room, all of which would access to the front veranda. Outdoor seating areas will be available in a landscaped patio at the rear of the building.

The project is designed to offer deep rent subsidies for residents at the very lowest income levels and coordinate the provision of and pay for a portion of the cost of supportive services to the frail elderly and disabled residents in the building. It would provide affordable housing for senior citizens (aged 62 and older) with very low to moderate income. Eighteen units would be designated for persons with incomes at or below 30 percent area median income (AMI) and 52 units for persons with incomes between 30 percent and 50 percent AMI.

Energy Efficiency

The project was accepted into New York State Energy Research and Development Authority’s Multi-family Performance Program with Green Affordable Housing Component. Ludlow Commons would be an extremely energy efficient building that is expected to achieve Leadership in Energy and Environmental Design (LEED) for Homes certification. The building’s mechanical

components, selected to minimize run-time and/or energy usage, would include items such as variable flow pumps, hi-efficiency condensing boilers, and Energy Star appliances and lighting (fluorescent and light-emitting diode lights with timers and bi-level capability and motion sensors where appropriate). Plumbing fixtures would include low-flow toilets, faucets, and shower heads. To minimize heat gain, solar sun-shades would be integrated into south facing windows, and a highly reflective, white roof will be included. The building envelope would be insulated to ensure energy performance that exceeds either American Society of Heating Refrigeration and Air Conditioning Engineers (ASHRAE) 90.1-2007 by at least 20 percent or ASHRAE 90.1-2010 by at least 15 percent.

Amenities

The building would provide a laundry room, a community room, computer facility, a wellness/management office, a landscaped outdoor patio in the rear yard, and additional outdoor seating in the front veranda. The laundry room would have Americans with Disabilities Act (ADA)-compliant, Energy Star washers and dryers.

Utilities and Access to Municipal Facilities

The building would receive water from the City of Yonkers and gas and electricity from ConEdison. With its location half a block from South Broadway, residents will be within walking distance of shopping, municipal and health services and multiple public transportation options. Residents would have convenient access to the county-wide bus and Para-Transit lines, Metropolitan Transportation Authority (MTA) bus service to New York City, and Metro North train service to NY City and northern Hudson Valley communities.

Access to Community Services

Westhab, Inc., would be the property manager and housing services provider. As housing services provider, Westhab would coordinate with the Family Service Society of Yonkers (referrals and services) and Westchester Disabled on the Move (referrals only) to provide comprehensive services to residents and supportive services to frail elderly residents (15 percent special needs set-aside), including the mobility, vision, and/or hearing impaired, to meet all resident needs. Residents would be offered a full range of supportive services designed to empower them to live independently. Westhab would be service coordinator and has secured commitments with the premier local service providers of supportive and educational services to seniors, including the frail elderly and the disabled:

- Family Service Society of Yonkers has committed to offer services, including wellness seminars and home health aide training/certification, and to provide information and referrals for supportive services, including, for the frail elderly and disabled, home health care, companion/escort service, representative payee, and geriatric care. Funding for these services would be provided through County contracts, Medicare, Medicaid, and donations from private individuals and foundations.
- KeyBank Downtown Yonkers Branch will offer on-site financial education seminars tailored to the senior population including training on recognizing and avoiding identity theft and internet and phone scams.

Westhab would be the service coordinator for residents and would also offer seminars and/or linkages to training in life skills and housing retention services, employment counseling,

vocational services, job fairs, CPR training and driver's education classes to any resident requesting such services.

Parking

There would be 25 on-site parking spaces for residents only; an additional 12 spaces would be available for guest and delivery parking.

Environmental Issues

The two existing structures on the site were tested for asbestos on April 28, 2011. Asbestos was found only in the flat roofing material and roof flashing of the one-story structure. The roof of the two-story structure was not accessible. During demolition, the roofing and flashing material on the one-story building would be treated as containing asbestos and removed per abatement regulations. Roofing and flashing on the two-story building would be tested during demolition and will be handled per code requirements as part of demolition.

It is expected that, if there is lead-based paint, that it would be found in concentrations small enough to be disposed of during demolition. Prior to demolition, representative samples of the building structure would be tested to determine the estimated composition of lead product as a percentage of demolition waste. If indicated, lead abatement would be performed per Environmental Protection Agency (EPA) Lead Safe practices.

A Phase I Environmental Site Assessment commissioned by Westhab prior to acquisition revealed two prior petroleum spills that were reported by the New York State Department of Environmental Conservation (NYSDEC) as remediated and closed. An updated Phase I, commissioned by Westhab in 2010 (and updated for 2012) found evidence of petroleum in the soil and at the groundwater interface proximate to the location of one of the prior spills. This finding was reported to the NYSDEC. Westhab commissioned further investigation and determined that remediation under the NY State Brownfield Cleanup Program (BCP) would accomplish several goals: remediation would be done to the satisfaction of the NYSDEC and the U.S. Department of Housing and Urban Development (HUD), would put the burden of remediating off-site contamination (if any) on the State, and would provide Westhab with an indemnity from future environmental claims related to the spill. Westhab was accepted into the BCP as a Volunteer and signed a Brownfield Cleanup Agreement (BCA) with the DEC on September 19, 2013. The BCA is currently in progress. Neither Westhab nor any development team member expects to make use of any tax credits available from the BCP.

Land and Building Information

Westhab, Inc., is the owner of the project site. Ludlow Commons would be owned by Ludlow Commons Limited Partnership (the Project Partnership), with a tax credit fund syndicated by Raymond James as the 99.99 percent Limited Partner, and Ludlow Commons Business Corporation, a wholly owned subsidiary of Westhab, as the 0.01 percent General Partner. Title to the land will be held by Ludlow Commons Housing Development Fund Corporation (HDFC), and beneficial ownership would be transferred to the Project Partnership through a Nominee Agreement. The HDFC will be controlled by Westhab, its sole member. This arrangement provides for as-of-right exemptions from sales, property, and mortgage recording taxes. Westhab, as developer, sponsor, guarantor, and sole member of the HDFC, would have effective control of the

project, and would have a substantial and continuing role in the development and operation of the project.

All parcels are properly zoned for the residential activities proposed and have sufficient off-street parking to comply with local parking codes. All local approvals are in place through pro-active approvals from the Yonkers Planning Board (see **Appendix A** for the Site Plan Application for a Proposed 71 Unit Senior Residential Building at Block: 185, Lot: 50 on Property Known as 7-17 Ludlow Street Pursuant To Article IX Of The Yonkers Zoning Ordinance).

Statement of Purpose and Need for the Proposal [40 CFR 1508.9(b)]:

In June 2013, Governor Andrew Cuomo set out to centralize recovery and rebuilding efforts in impacted areas of New York State. Westchester County was impacted by Hurricanes Irene and Sandy. Establishing the Office of Storm Recovery, the Governor aimed to address communities' most urgent needs, and encouraged the identification of innovative and enduring solutions to strengthen the State's infrastructure and critical systems. Operating under the umbrella of New York Homes and Community Renewal, the Governor's Office of Storm Recovery (GOSR) uses approximately \$3.8 billion in flexible funding made available by HUD's Community Development Block Grant – Disaster Recovery (CDBG-DR) program to concentrate aid to four main areas: Housing Recovery, Small Business, Community Reconstruction, and Infrastructure. Paired with additional federal funding that has been awarded to other State agencies, the CDBG-DR program is enabling homeowners, small businesses and entire communities to build back and better prepare for future extreme weather events.

On October 29, 2012, Hurricane Sandy made landfall over the New York coast. Flooding along the coast, other overland flooding, and wind damaged communities throughout New York adding to damage suffered the year before from Hurricane Irene and Tropical Storm Lee. In particular, communities within Nassau, Suffolk, Rockland, and Westchester Counties suffered substantial damage. These four counties were identified by HUD as the most impacted and distressed counties within New York excluding New York City. More than 1,000 owner-occupied homes were damaged, and over 60 rental properties suffered substantial damage or were destroyed in Westchester County, according to FEMA's housing damage estimates.

The project would return to productive use a long vacant and abandoned property that has been both an eyesore and public nuisance in the Ludlow neighborhood of the City of Yonkers. The applicant proposes to provide much needed opportunities for senior and special-needs housing in the neighborhood. The proposed project is supportive of and consistent with the goals and strategies of local and state planning and land use documents. The City of Yonkers adopted Connections – The Yonkers Comprehensive Plan in September 2000. (<http://www.cityofyonkers.com/work/departments-of-planning-development/planning>),

The goals of Connections are to relate and connect plan proposals to the City's history, to its place in the region, to its neighborhoods, economic centers, parks and natural resources, and to its transportation systems and community facilities. Specifically, Connections sets forth a goal of encouraging the creation of affordable housing opportunities in the City. The Ludlow Commons project meets both the broader theme of the Comprehensive Plan and the specific affordable

housing goals of the Plan. The City of Yonkers amended its General Ordinance in 2011 by creating the South Broadway District. The purpose of this district is to recognize, preserve and develop the South Broadway shopping area as a pedestrian and shopper friendly environment with a sustainable mix of retail, commercial and residential uses. The Ludlow Commons project would provide residential uses on a revitalized site within one block of South Broadway consistent with the pedestrian and shopper friendly purposes of this ordinance.

The City submitted its Consolidated Plan to HUD to prioritize housing and guide funding decisions for Fiscal Years 2010 – 2014. The goals of the plan include preserving and increasing the supply of affordable housing stock, providing suitable living environments through greater low and moderate income integration and investment in deteriorating neighborhoods, and expanding economic opportunities to promote long-term community viability. The Consolidated Plan also addresses community concerns by increasing senior housing availability in an environment that fosters support services and access to community facilities and services. The Ludlow Commons project would be consistent with the goals of the Consolidated Plan. The project would create 70 units of new senior housing in a setting that provides on-site support services, pedestrian access to shopping and community services, and would address potential blight concerns at the project site and within the Ludlow neighborhood.

The Ludlow Commons project is consistent with the housing and senior strategies of the state's Mid-Hudson Region Economic Development Council Strategic Plan; these include fostering housing creation to attract construction jobs, supporting the revitalization of urban centers, encouraging sustainable senior developments, and establishing a broad range of housing choices for seniors.

Existing Conditions and Trends [24 CFR 58.40(a)]:

Yonkers is the largest city in Westchester County and the fourth largest in the State of New York. The city encompasses approximately 18.1 square miles and has a population of 199,766, according to the U.S. Census estimates for 2013. This represents a population increase of 1.9 percent from the 2010 Census figure of 195,976.

The project is in an urban area adjacent to the South Broadway commercial district in Southern Yonkers. There are many retail stores, restaurants, grocery stores, personal care facilities, medical and dental offices, pharmacies, banks, houses of worship, and public transportation stops, St. Joseph's Hospital, Westchester Dialysis Center, and a U.S. Post Office within a half-mile walking distance. Every street has sidewalks on both sides and major intersections have stop lights, making it especially convenient for senior residents to access all service establishments and public transportation.

The market area for this project encompasses 6.4 square miles in Southern Yonkers. In this area, there have been four senior-only affordable rental buildings constructed in the last 10 years, representing 331 units. The overall vacancy rate for senior apartments in the market area is two percent (one percent for senior tax credit apartments). Demand for Ludlow Commons is expected to be very high with a weighted average capture ratio of five percent.

Funding Information

A major portion of the construction of the project would be financed with an \$11,556,800 HUD 202 capital grant and a \$400,000 HUD Demonstration Pre-Development Grant, both of which were awarded to Westhab in 2012.

In addition, GOSR proposes to potentially provide additional funding through the CDBG-DR program. If it is determined that this project should receive the award, the award shall be the lesser of \$9 million (which is stated in the RFP as the maximum per project award in Westchester County) or the minimum amount needed to cover approved project costs once all other available sources of financing have been taken into account.

Grant Number	HUD Program	Funding Amount
	HUD 202 Capital Funds	\$11,556,800
	HUD Demonstration Pre-Development Grant	\$400,000
B-13-DS-36-0001	CDBG-DR	See above

Estimated Total HUD Funded Amount:

\$11,956,800 plus potential CDBG-DR award.

Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]:

\$25,146,832

Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities

GOSR has conducted a review for each of the compliance factors listed below and determined whether the activity affects the resources under consideration or whether formal compliance steps or mitigation is required. All compliance source documentation regarding the necessary reviews or consultation is attached to the Checklist and included in the ERR.

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance determinations
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 and 58.6		
Airport Hazards 24 CFR Part 51 Subpart D	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	Based on guidance provided by HUD in Fact Sheet #D1, the National Plan of Integrated Airport Systems (NPIAS) was reviewed for civilian, commercial service airports near the Ludlow Commons project area, as projects within 2,500 feet of a civil airport require consultation with the appropriate civil airport operator. Teterboro Airport in Teterboro, New Jersey, and LaGuardia Airport in New York, New York, are the nearest to the project area, at approximately 9.5 and 10 miles away, respectively. The Ludlow Commons project parcel is not within 2,500 feet of either of these airports. No known military airports are within 15,000 feet of the program area. No additional action is needed. Source: 3, 4
Coastal Barrier Resources Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Ludlow Commons project is not in the Coastal Barrier Resources Area, and, therefore, HUD funding can be applied to this project. Source: 5, 6, 7
Flood Insurance Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Ludlow Commons project parcel is not in a Special Flood Hazard Area (SFHA). According to Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) #36119C0317F, dated September 28, 2007. The parcel is

		<p>located in "Zone X" that is outside areas with a 0.2 percent chance of annual flooding (or 500-year flood hazard zone) (See Appendix B).</p> <p>Source: 8</p>
<p>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 & 58.5</p>		
<p>Clean Air</p> <p>Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93</p>	<p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>Westchester County is in the most recent nonattainment area for particulate matter (PM2.5) and is classified as "marginal" for the 8-hour ozone standard, as defined by the EPA's Green Book Nonattainment Areas for Criteria Pollutants.</p> <p>Section 176(c) of the Clean Air Act (CAA) requires a federal agency that funds any activity in a nonattainment or maintenance area to conform to the State Implementation Plan (SIP).</p> <p>Conforming to a SIP means that an action will not:</p> <ul style="list-style-type: none"> • Cause or contribute to a new violation of any standard in any area; • Increase the frequency or severity of any existing violation of any standard in any area; or • Delay timely attainment of any standard or any required interim emission reduction or other milestones in any area. <p>Project activities at the Ludlow Commons project site would not substantively affect the SIP due to the implementation of standard best management practices (BMP) that control dust and other emissions during construction. Air quality impacts would be short-term and localized. No significant impacts on air quality would result, and further assessment is not required.</p> <p>Source: 9</p>
<p>Coastal Zone Management</p> <p>Coastal Zone Management Act, sections 307(c) & (d)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project site is not in the coastal zone of the City of Yonkers as defined by the State's Coastal Zone Management Program.</p> <p>Source: 5</p>

<p>Contamination and Toxic Substances</p> <p>24 CFR Part 50.3(i) & 58.5(i)(2)</p>	<p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>HUD policy requires that the proposed site and adjacent areas be free of hazardous materials, contamination, toxic chemicals and gases, and radioactive substances, where a hazard could affect the health and safety of occupants of the property. A Phase I Environmental Site Assessment was done for the Ludlow Commons project in July 2012, and identified:</p> <ul style="list-style-type: none"> • Previous use as a commercial and automotive repair facility, for which no further action was recommended; • Petroleum present in monitoring well and soils, and NYSDEC Spill Event Number 1010142 was assigned to the site; • A 275-gallon fuel oil aboveground storage tank in a concrete vault in the utility room of the two-story structure on the site; • An asbestos survey in April 2011 and Asbestos Bulk Sampling Report in May 2011, by S&B Environmental LLC, for the site found no asbestos, except in the roofing material of one of the buildings and presumed that asbestos would be present in the roofing material of the other building; • Lead-based paint could be present on painted surfaces; and • Solid waste and debris scattered throughout the property. <p>HUD policy requires that the proposed site and adjacent areas be free of hazardous materials, contamination, toxic chemicals and gases, and radioactive substances, where a hazard could affect the health and safety of occupants of the property. All project-related solid waste materials must be managed and transported in accordance with the NYS's solid and hazardous waste rules.</p> <p>Per the recommendations of the Phase I Environmental Site Assessment and NYS hazardous waste rules, the contaminated soils near the central monitoring well would be excavated and properly disposed of off-</p>
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	<p>site. Results of confirmatory endpoint sampling, documenting the integrity of remaining soils, would be submitted to the NYSDEC. Additional groundwater monitoring wells would be installed to document the extent of dissolved volatile organic compounds (VOC) contamination on (and possibly off) the site.</p> <p>The project site was previously used for automobile repair activities and is currently undergoing remediation under the NY State BCP. The Remedial Action Plan provides for the investigation of the nature and extent of any contamination within the boundaries of the site, and provides procedures for qualitative exposure of any contaminants emanating from the site.</p> <p>Polychlorinated Biphenyls</p> <p>Polychlorinated biphenyls (PCBs) were widely used in equipment such as transformers, capacitors, and hydraulic equipment until 1979 when the USEPA regulated their use in this capacity. The site was inspected for the presence of equipment likely to contain PCBs in the Phase I Environmental Assessment. This inspection showed no equipment likely to contain PCBs.</p> <p>Lead-Based Paint</p> <p>Because lead-based paint may be present, all renovation activities would follow Lead-Safe Work Practices. All activities would comply with applicable federal, state, and local laws and regulations regarding lead-based paint, including but not limited to, the EPA Repair, Renovation, and Painting (RRP) Rule (40 CFR 745.80 Subpart E), HUD's lead-based paint regulations in 24 CFR Part 35 Subparts A, B, H, J, and R, and HUD "Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing."</p> <p>The Guidelines complement regulations issued by HUD, the EPA, and the Occupational Safety and Health Administration (OSHA), and policies from</p>
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		<p>the Centers for Disease Control and Prevention (CDC). In general, these regulations apply to housing constructed prior to 1978.</p> <p>Asbestos-Containing Materials</p> <p>The removal of structures with asbestos-containing materials (ACM) would conform to Part 56 of Title 12 of the Official Compilation of Codes, Rules and Regulations of the State of New York Department of Labor (Cited as 12 NYCRR Part 56), the National Emission Standard for Asbestos-Standard for demolition and renovation 40 CFR Part 61.145, and National Emission Standard for Asbestos-Standard for waste disposal for manufacturing, fabricating, demolition, and spraying operations 40 CFR Part 61.150.</p> <p>Radon</p> <p>According to the EPA, the Ludlow Commons project is in Radon Zone 3, where the predicted average indoor radon screening level is less than 2 picocuries per liter (pCi/L). Fewer than 20 percent of the homes tested in Westchester County and Yonkers had basement radon levels exceeding this guidance value These radon levels would not require mitigation. The Ludlow Commons project would not include a basement.</p> <p>See Appendix C for the Phase I Environmental Site Assessment.</p> <p>Source: 10, 11, 12, 13, 43</p>
<p>Endangered Species</p> <p>Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The USFWS online review process, completed on January 9, 2015, indicated the area around the project site may have habitat for the proposed endangered northern long-eared bat (<i>Myotis septentrionalis</i>), the candidate for listing New England cottontail rabbit (<i>Sylvilagus transitionalis</i>), and the listed endangered Indiana bat (<i>Myotis sodalis</i>). It is unlikely that these species or any other endangered or threatened species are in the project area as there is no critical or desirable habitat. It is likely that little or no impact to endangered or threatened</p>

		<p>species would occur due to the urban nature of the project sites and lack of any tree cover or removal of trees.</p> <p>According to the NYSDEC Environmental Assessment Form Mapping Tool, there were no federal or NYS endangered or threatened species on the project site, nor does it contain any areas identified as habitat for an endangered or threatened species.</p> <p>Source: 14</p>
<p>Explosive and Flammable Hazards</p> <p>24 CFR Part 51 Subpart C</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>A search of available aerial imagery and the NYSDEC Bulk Storage Program Database identified the following aboveground storage tanks within one mile of the project site (the acceptable separation distance (ASD) and approximate distance to the project site are provided for each tank):</p> <ul style="list-style-type: none"> • Site 2-607908 (ASD of 493 feet; 2,000 feet to the site) • Site 2-603513 (ASD of 493 feet; 2,500 feet to the site) • Site 3-000291 (ASD of 216 feet; 2,500 feet to the site) • Site 3-2320 (tank information withheld from public disclosure; 2,600 feet to the site) • Site 3-000006 (tank information withheld from public disclosure; 2,600 feet to the site) • Site 4-600483 (ASD of 207 feet; 2,700 feet to the site) • Site 3-000143 (tank information withheld from public disclosure; 4,000 feet to the site) • Site 2-283886 (ASD of 722 feet; 4,300 feet to the site) • Site 2-292435 (ASD of 541 feet; 4,600 feet to the site) • Site 2-603186 (ASD of 493 feet; 4,600 feet to the site) • Site 2-603188 (ASD of 541 feet; 4,600 feet to the site) • Site 2-091464 (ASD of 541 feet; 4,900 feet to the site)

		<ul style="list-style-type: none"> • Site 2-603124 (ASD of 493 feet; 4,900 feet to the site) • Site 3-000385 (tank information withheld from public disclosure; 4,900 feet to the site) • Site 2-601572 (ASD of 493 feet; 5,100 feet to the site) <p>Because each of the above tanks is at least four times further from the project site than the ASD, it can also be assumed that the tanks for which no information is publicly available also are outside the applicable ASD. Further lessening the risk from the tanks is the location of the project in a densely developed area where the intervening development also protects the site from explosive and flammable hazards. The field inspection identified no aboveground storage tanks in the vicinity of the project site.</p> <p>Source: 45</p>
<p>Farmlands Protection</p> <p>Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Soils at the Ludlow Commons project site have not been designated as prime or unique farmland or farmland of statewide importance, so the project would not convert farmland to nonagricultural purposes and would not violate the Farmland Policy Protection Act. Further assessment is not required.</p> <p>Source: 17</p>
<p>Floodplain Management</p> <p>Executive Order 11988, particularly section 2(a); 24 CFR Part 55</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The Ludlow Commons project parcel is not in a Special Flood Hazard Area (SFHA). The project parcel is outside the 0.2-percent-annual-chance (or 500-year) flood hazard zone (Zone X), based on a review of the FEMA FIRM (Map No. 36119C0317F) for Yonkers, New York (See Appendix B).</p> <p>Source: 8</p>
<p>Historic Preservation</p> <p>National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The Ludlow Commons project was reviewed by SHPO in accordance with Section 106 of the National Historic Preservation Act of 1966 in 2011 and resubmitted in 2012 and 2013. SHPO determined that the proposed project would have no effect on properties in</p>

		<p>or eligible for inclusion in the National Register of Historic Places (see Appendix F, SHPO Correspondence).</p> <p>Source: 18</p>
<p>Noise Abatement and Control</p> <p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p>	<p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>The site is located approximately 9.5 miles from Teterboro Airport, 10 miles from LaGuardia International Airport, and 13.9 miles from Westchester County Airport. The site is not within the 65 decibels (dB) Day/Night Noise Level (DNL) contour for any of these airports. The project site is located approximately 2,300 feet from the Metro North railway line along the Hudson River; however, the site is located over 100 feet upslope and is separated from the rail line by over seven blocks of dense, often multi-story development rendering rail noise insignificant to the human ear. The site is located within 200 feet of South Broadway, classified as a major roadway. Noise calculation worksheets, in conjunction with HUD's DNL Calculator, concluded that the exterior noise level at the site is 58.2 dB DNL. This noise level is considered acceptable. (See Appendix G, Noise Calculation Worksheet)</p> <p>The project must conform to all provisions in the City of Yonkers Noise Ordinance (Chapter 66 of the City Code), including all heating, ventilation and air conditioning equipment.</p>
<p>Sole Source Aquifers</p> <p>Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The Ludlow Commons project property is not in any sole source aquifer area, according the EPA NEPAAssist mapper, so that authority would not apply to this project.</p> <p>The project would not involve the operational use of hazardous or toxic substances and, as an affordable housing project, falls into the category of projects that EPA has identified as posing little threat to aquifers.</p> <p>Source: 21</p>

<p>Wetlands Protection</p> <p>Executive Order 11990, particularly sections 2 and 5</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>According to the USFWS National Wetlands Inventory, there are no wetlands in the project area. No additional compliance steps are required.</p> <p>Source: 39</p>
<p>Wild and Scenic Rivers</p> <p>Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>There are no Wild and Scenic Rivers, as designated by the US Department of the Interior and NYSDEC, near the Ludlow Commons project.</p> <p>Source: 22, 23</p>
<p>ENVIRONMENTAL JUSTICE</p>		
<p>Environmental Justice</p> <p>Executive Order 12898</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project site is in a potential Environmental Justice (EJ) area, as defined by NYSDEC based on data from the 2010 U.S. Census. (See Appendix D, Yonkers Potential Environmental Justice Area Map). The Ludlow Commons project would not raise EJ issues and would have no potential for new or continued disproportionately high and adverse human health and environmental effects on minority or low-income populations. The project would benefit low- and moderate-income residents through the construction of new affordable housing.</p> <p>The project is designed to offer deep rent subsidies for residents at the very lowest income levels and coordinate the provision of and pay for a portion of the cost of supportive services to the frail elderly and disabled residents in the building. It would provide affordable housing for senior citizens (aged 62 and older) with very low to moderate income. Eighteen units would be designated for persons with incomes at or below 30 percent AMI and 52 units for persons with incomes between 30 percent and 50 percent AMI.</p> <p>Source: 24</p>

Environmental Assessment Factors [24 CFR 58.40; Ref. 40 CFR 1508.8 &1508.27] NYSHCR has recorded below the qualitative and quantitative significance of the effects of the proposal on the character, features and resources of the project area. Each factor has been evaluated and documented, as appropriate and in proportion to its relevance to the proposed action. Verifiable source documentation has been provided and described in support of each determination, as appropriate. Credible, traceable and supportive source documentation for each authority has been provided. Where applicable, the necessary reviews or consultations have been completed and applicable permits of approvals have been obtained or noted. Citations, dates/names/titles of contacts, and page references are clear. Additional documentation is attached, as appropriate. **All conditions, attenuation or mitigation measures have been clearly identified.**

Impact Codes: Use an impact code from the following list to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact – May require mitigation
- (4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement

Environmental Assessment Factor	Impact Code	Impact Evaluation
LAND DEVELOPMENT		
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	1	<p>The Ludlow Commons project would transform a long-vacant, derelict parcel into 70 units of senior housing consistent with the goals of the City of Yonkers Comprehensive Plan (September 2000). Specifically, the Comprehensive Plan has a goal of encouraging the creation of affordable housing opportunities in the City. While the site was formerly used as a taxi dispatch/auto repair shop, the current zoning designation in the “A District” at the project site is a zoning district that permits high density residential uses. The project would be consistent with the City’s South Broadway District ordinance for the enhancement of a pedestrian and shopper friendly environment with a sustainable mix of retail, commercial and residential uses.</p> <p>The City, in its Consolidated Plan submitted to HUD, includes housing goals and funding priorities. The project is consistent with the goals of the plan by preserving and increasing the supply of affordable housing stock, providing suitable living environments through greater low and moderate income integration and investment in deteriorating neighborhoods, and expanding economic opportunities that promote long-term community viability. The site plan application was submitted and approved by the Yonkers Planning Board on November 21, 2013. See</p>

		<p>Appendix A, Site Plan Application and Preliminary Site Plans. Conditions of approval were applied to the project and are referenced in the Mitigation Measures and Conditions section below.</p> <p>The project is consistent with the strategies of the Mid-Hudson Region Economic Development Council Strategic Plan supporting the revitalization of urban centers, encouraging sustainable senior developments, and establishing a broad range of housing choices for seniors.</p> <p>The scale and height of the project are consistent with similar projects in the South Yonkers neighborhood. The site is adjacent to South Broadway that is lined with mixed residential and commercial buildings. The Planning Board determined that the site plan included all on-site services and amenities, including required parking, lighting and landscaping, consistent with all zoning ordinance provisions and would not negatively impact the adjacent properties or the surrounding neighborhood.</p> <p>Source: 18, 25, 40, 41, 42</p>
<p>Soil Suitability/ Slope/ Erosion/ Drainage/ Storm Water Runoff</p>	<p>2</p>	<p>The project site is on glacial till deposits overlying gneiss previously disturbed by development and in a dense urban setting. Because the sites previously supported similar structures, the soils would be suitable for the new structure. Grading for the site would be minimal, and soils would be compacted per local building codes.</p> <p>According to the United States Geological Survey (USGS) topographic map of the Yonkers, New York quadrangle (see Appendix E), the property is in an area of varied relief with somewhat gentle downward slopes to the west, toward the Hudson River, has surface elevations ranging from approximately 90 to 100 feet above mean sea level. The United States Department of Agriculture, Natural Resource Conservation Service (USDA NRCS) soil survey of Putnam and Westchester Counties, New York indicates that the Urban Land (0-8 percent slopes) map unit is likely to be located on the property, which is considered slight, and is satisfactory for urban development and does not present concerns regarding construction on the project site. No evidence from existing site conditions, such as excessive cracks in either structures or pavement or other topographic irregularities, indicated any physical evidence of site erosion or poor soil conditions.</p> <p>The project includes development of a site connected to the public street and drainage systems of the City of Yonkers and Westchester County. Redevelopment of the site would</p>

		<p>not create additional stormwater runoff that would adversely affect these drainage systems. The site plan conditions of approval include compliance with the stormwater design and protocols detailed in the “Stormwater Management Requirements-Department of Housing and Building Permits.” These protocols will be reviewed by that department as part of the building permit submittal process.</p> <p>Because the amount of ground disturbance at the project site would be more than one acre, a State Pollutant Discharge Elimination System (SPDES) General Stormwater Permit would be required. BMPs, such as silt fence and erosion prevention, would be implemented, if required by permits or agency discretion. Because state and local permitting requirements would incorporate BMPs (erosion blanketing, phasing and sequencing of construction) to eliminate erosion impacts for program locations that require excavation or soil modification, impacts from erosion are not anticipated from this project.</p> <p>Source: 26</p>
<p>Hazards and Nuisances including Site Safety and Noise</p>	<p>2</p>	<p>The Ludlow Commons project site is not in an area with any previous known history of hazardous materials releases. The neighborhood is a residential and commercial area and has not been the site of industrial operations or other activities known to emit hazardous materials or air pollutants. The project site was previously used for automobile repair activities and is currently undergoing remediation under the NY State BCP. The project applicant was accepted into the BCP as a volunteer and signed a Brownfield Cleanup Agreement with the NYSDEC on September 19, 2013.</p> <p>The project site is within 3,000 feet from a rail corridor located along the Hudson River. This corridor serves commuter, passenger, and freight lines, and includes Metro-North’s Hudson Line and Amtrak’s Empire Corridor. The federal Department of Transportation, Federal Railroad Administration, and the New York State Rail Safety Inspection Program require safety monitoring and standards for freight and passenger service rail operations to ensure compliance with the Federal Railroad Safety Program.</p> <p>Per CFR 49 Part 212, State Safety Participation in conjunction with the Federal Railroad Administration requires NYS to provide the capability necessary to assure coverage of facilities, equipment, and operating practices</p>

	<p>through planned routine compliance inspections for all, or a specified part of, the territory of NYS. To this end, NYS is required to certify all safety inspectors in their respective discipline.</p> <p>Freight, intercity, and tourist railroads operating in NYS are required by the Rail Safety Bureau to provide immediate notification to the Rail Safety Inspection Section (RSIS) in case of spill or accident.</p> <p>The project site is located within areas affected by Hurricanes Sandy and Irene; however, it is not within either a 100-year flood zone or a 500-year flood hazard area. No other known natural hazards, including earthquake fault zones, landslide zones, or hazardous terrain, exist at or near the project sites.</p> <p>The project site is subject to noise from several sources, including the Empire Corridor railway. Renovation and construction activities could result in short-term noise from construction vehicles, but the project must adhere to local ordinances concerning allowable days and times for construction activities, and restrictions on idling times for construction vehicles.</p> <p>The site is not within the 65 dB DNL contour for Teterboro, LaGuardia, or Westchester airports; therefore airport noise would not be a factor. The site is separated from the rail line by upsloping topography and dense, multi-story development, rendering rail noise insignificant. The site is located within 200 feet of South Broadway, classified as a major roadway. Noise calculation worksheets, in conjunction with HUD's DNL Calculator, concluded that the exterior noise level at the site is 58.2 dB DNL, which is considered acceptable.</p> <p>Source: 14</p>
<p>Energy Consumption</p>	<p>Ludlow Commons would be a green, energy efficient, building. The project was accepted into New York State Energy Research and Development Authority's Multi-family Performance Program with Green Affordable Housing Component. Ludlow Commons would be expected to achieve LEED for Homes certification. The building mechanical systems, selected to minimize run-time and/or energy use, would include items such as variable flow pumps, hi-efficiency condensing boilers, and Energy Star appliances and lighting (fluorescent and LED with timers and bi-level capability and motion sensors where appropriate). Plumbing fixtures would include low-flow toilets, faucets and shower heads. To minimize heat</p>

		<p>gain, solar sun-shades will be integrated into south facing windows and a highly reflective, white roof would be included. The building envelope would be insulated to ensure energy performance that exceeds either ASHRAE 90.1-2007 by at least 20 percent or ASHRAE 90.1-2010 by at least 15 percent.</p> <p>The project site is served by ConEdison and would not require the extension of utility infrastructure necessary to provide energy to the site. The site is located within one-half block of South Broadway, providing close proximity to transit, commercial and retail facilities, and health and social services.</p>
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Environmental Assessment Factor	Impact Code	Impact Evaluation
SOCIOECONOMIC		
Employment and Income Patterns	2	<p>According to 2013 Census estimates, the median household income in the City of Yonkers was \$59,159. This compares to \$58,003 for the State of New York. The estimated median value of owner-occupied housing units between 2009 and 2013 was \$405,700, compared to \$288,200 for the State of New York.</p> <p>Employment in Yonkers is widely distributed among many key industries and occupations. Approximately 13.5 percent of the population is employed in the retail trade, 3.6 percent in manufacturing, 28.4 percent in educational services and health care and social assistance, 7.7 percent in construction, and 10 percent in professional, scientific, and technical services.</p> <p>Because the Ludlow Commons project would result in the addition of senior-age residents in the neighborhood, it would not alter the employment and income patterns.</p> <p>Temporary construction jobs would be created by the project. Permanent employment would include a full-time on-site superintendent.</p> <p>The project would benefit employment and local income in the area by providing additional residents who would use local businesses and stimulate employment, especially along the South Broadway corridor.</p> <p>Source: 27, 28</p>
Demographic Character Changes, Displacement	2	<p>According to the 2013 U.S. Census estimates, the population of the City of Yonkers was 199,766. This represents a population decrease of 1.4 percent since 2010.</p>

		<p>In 2010, approximately 55.8 percent as Caucasian, 18.7 percent as black or African-American, 34.7 percent as Hispanic or Latino, 5.9 percent identified as Asian, 4.1 percent as two or more races, 0.7 percent as American Indian or Alaskan Native, and 0.1 percent as Native Hawaiian and Other Pacific Islander.</p> <p>The Ludlow Commons project would construct 71 housing units on a site previously developed for commercial use. The project residents would consist of an older demographic and the building was designed to help older-aged adults “age-in-place.” The project would provide senior housing and would be expected to draw from the existing senior population in the neighborhood and the City of Yonkers, so no demographic changes are expected.</p> <p>Due to the project’s construction in an already developed neighborhood with open access to nearby commercial establishments, the project would not result in physical barriers or create difficult access thereby isolating or concentrating any particular population group. The South Broadway commercial district would continue to be accessible to all residents.</p> <p>The project site was formerly used as an automotive garage and repair area and is currently vacant. There is no record of housing uses at the site and there are no current residents at the site, so there would be no displacement of residents.</p> <p>Source: 28</p>
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Environmental Assessment Factor	Impact Code	Impact Evaluation
COMMUNITY FACILITIES AND SERVICES		
Educational and Cultural Facilities	2	<p>Because the Ludlow Commons project is targeted to the senior population, it would not result in additional demand on schools and would not adversely impact nearby educational facilities.</p> <p>The City of Yonkers has numerous cultural amenities that would be available to the residents of Ludlow Commons. The Riverfront Branch of the Yonkers Public Library is located approximately one mile north of the project site. Other cultural facilities within the city include the Philipse Manor Hall State Historic Site, Science Barge, and the Hudson River Museum.</p> <p>Source: 29, 30, 31, 44</p>

<p>Commercial Facilities</p>	<p>3</p>	<p>There are numerous commercial facilities within a half mile of the project site, primarily on South Broadway Street. The South Broadway commercial district has many retail stores, restaurants, grocery stores, personal care facilities, medical and dental offices, pharmacies, banks, houses of worship, and public transportation stops, St. Joseph’s Hospital, Westchester Dialysis Center, and a U.S. Post Office within a half-mile walking distance.</p> <p>These facilities would adequately support the needs of the new residents of the project site. Although new residents would frequent the existing commercial establishments in the neighborhood, the proposed project would not significantly increase the demand beyond existing capacity on existing commercial establishments.</p>
<p>Health Care and Social Services</p>	<p>3</p>	<p>There are seven hospitals and numerous health care facilities in Yonkers. One hospital, St. Joseph’s Medical Center, is located less than one mile north of the project site on South Broadway Street. St. Joseph’s is a full-service acute care hospital and provides emergency services. The Yonkers Community Health Center is about one mile north of the project site and provides comprehensive health services, including urgent care. The number of units and residents associated with the proposed project would not significantly increase the demand on the health care system.</p> <p>Social services are provided by a range of non-profit, local, state, and federal agencies. The Westchester County Department of Social Services provides a variety of services to county residents from four service centers located throughout the county. These services include Medicaid, food assistance, temporary assistance, and homeless services.</p> <p>The project is not expected to exceed the capacity of providers because the location is in an area well served by existing health care and social service providers.</p> <p>Source: 32, 33</p>
<p>Solid Waste Disposal / Recycling</p>	<p>3</p>	<p>Construction debris would primarily be composed of materials from the demolition of the two existing, vacant commercial structures. These materials include concrete, asphalt, wood, piping, and other materials commonly found in commercial construction. Collection, transportation and disposal of garbage and recycling is managed by the City of Yonkers’s Department of Public Works. Some of these wastes would be deposited at the existing Yonkers Recycling Center that accepts metal and non-metal bulk</p>

	<p>items, household recyclables, empty propane tanks, electronics, fluorescent bulbs and light ballasts, and Styrofoam. Commercial, construction and roofing debris, hazardous waste, oil, grease, wet paint, automotive and cleaning fluids, tires and car batteries are strictly prohibited. These types of waste would be properly segregated and disposed of at a regulated (permitted) Construction and Demolition (C&D) Debris Processing Facility and in accordance with applicable regulations. As of May 2012, there were 79 regulated (permitted) C&D debris processing facilities and 279 registered C&D debris processing facilities in New York. As of December 2011, there were three active regulated C&D debris processing facilities in Westchester County. Materials would be separated from C&D debris to be recycled or to be reused for a specific use. Facilities and landfills would be determined based on proximity to site specific properties. All hazardous waste (asbestos, lead, etc.) would be segregated and disposed of at an appropriately licensed facility. Materials can be separated from C&D debris to be recycled or to be reused for a specific use. Material that is not recovered would be sent to a municipal solid waste landfill or to a C&D debris landfill.</p> <p>The project would be developed at a higher density than the previous commercial use at the site. The site would be served by the City of Yonkers Department of Public Works currently serving the neighborhood, and waste would be deposited in the existing Yonkers Recycling Center or Organic Yard. These facilities are adequately sized and would not be adversely impacted by this project.</p> <p>Source: 34</p>
<p>Waste Water / Sanitary Sewers</p>	<p>3 Wastewater treatment in Yonkers is provided by the Westchester County Department of Environmental Facilities. Wastewater is processed at the Yonkers Joint Wastewater Treatment Plant and is collected through a combination of sewers and treatment plants operated by the County, sewage districts, municipalities, and private entities.</p> <p>The project site is served by existing wastewater and sewer services and infrastructure, and would not require the installation of new wastewater collection infrastructure. The project would connect to the county's sanitary sewers and wastewater treatment system. Because the existing buildings are unoccupied, the project would generate more wastewater than current conditions and previous commercial uses. This increased use would be mitigated by new utilities in the units that would employ efficiency standards per local and state codes, the New York State Homes and Community</p>

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		<p>Renewal (NYSHCR) mandatory green building and energy efficiency practices, and the New York State Energy Research and Development Authority (NYSERDA) Low-Rise Residential New Construction Program.</p> <p>Source: 35</p>
Water Supply	3	<p>The City of Yonkers obtains its drinking water from New York City Water Supply System, a source of unfiltered surface water. Most of this water originates from two protected watershed areas, the Catskill and Delaware, west of the Hudson River in upstate New York. The project site would be connected to the city’s water supply delivery system. The project would include all water conservation measures proscribed by the NYSHCR mandatory green building and energy efficiency practices and the NYSERDA Low-Rise Residential New Construction Program, and local codes. With incorporation of these water conservation components into the design and construction of each residential unit, the project would not result in a significant demand on the city’s water delivery system.</p> <p>Source: 36</p>
Public Safety - Police, Fire and Emergency Medical	3	<p>Public safety services are provided by the City of Yonkers. The Yonkers Police Department is composed of four precincts. The project site is in the department’s 3rd Precinct, whose headquarters are approximately 0.70-mile south of the project site. The Yonkers Fire Department is located approximately 2 miles north of the project site, and the department is an all hazards agency protecting lives and property through fire suppression, pre-hospital emergency medical care, disaster management, fire prevention, code enforcement, fire investigation and public education.</p> <p>There would be an estimated increase of 71-142 residents. An increased demand for emergency services may occur because senior citizens typically need more emergency assistance than the general population. However, any potential increase in demand would not exceed the capacity of Yonkers emergency services because the anticipated population increase is offset by the 0.6 percent population decrease that Yonkers has experienced since 2009.</p> <p>Source: 37</p>
Parks, Open Space and Recreation	2	<p>Parks and recreation facilities are managed by the City of Yonkers Department of Parks, Recreation and Conservation. The Department operates 70 parks and playgrounds, 74 malls, 51 ball fields, 36 tennis courts, two platform tennis courts, 50 outdoor basketball courts, a rifle range, 9</p>

		<p>greenhouses, 2 indoor swimming pools, a 1-1/4 mile track, 2 picnic areas, 15 senior citizen centers, a youth center, and 4 year-round recreational community centers. Nearby parks within one-half mile of the project site include O’Boyle Park and Pelton Oval. The small increase in the number of residents would not substantially increase the demand for additional parks or open space and would not cause the deterioration of the existing facilities.</p> <p>Source: 31</p>
<p>Transportation and Accessibility</p>	<p>3</p>	<p>The project site is in the southern portion of the City of Yonkers and is well-connected to New York City’s local and regional transportation network. Ten Metro North Railroad stations serve Yonkers, and Yonkers is just 25 minutes from Midtown Manhattan’s Grand Central Terminal. Five major highways connect Yonkers with the rest of Westchester County, New York City, and beyond. Local and regional bus service is provided by the Bee-Line Bus System by the Westchester County Department of Public Works and Transportation. This service provides public transit access from near the project site to various locations in Yonkers and around Westchester County. The project is targeted at the senior population and would not require the development of new transit service or create population demand that would exceed the capacity of current transportation infrastructure or transit service systems. Additionally, the project would have 25 parking spaces with the option to develop an additional 12 spaces if necessary in the future, which would be landscaped until that need develops. Also, it is not expected that all senior residents would have vehicles. Based on the above, impacts to vehicular traffic would be negligible.</p> <p>Because the project would be built specifically to house elderly and disabled residents, access amenities such as wheelchair ramps and handicapped parking spaces would be available.</p> <p>Source: 38</p>

Environmental Assessment Factor	Impact Code	Impact Evaluation
NATURAL FEATURES		
<p>Unique Natural Features, Water Resources</p>	<p>2</p>	<p>There are no unique natural features or water resources on or adjacent to the project site. The project site is a previously developed location in a dense urban residential and commercial setting.</p>

		Source: 15
Vegetation, Wildlife	2	<p>The USFWS online review indicated the area around the project sites may have habitat for the proposed endangered northern long-eared bat (<i>Myotis septentrionalis</i>), the candidate for listing New England cottontail rabbit (<i>Sylvilagus transitionalis</i>), and the listed endangered Indiana bat (<i>Myotis sodalis</i>). It is unlikely that these species or any other endangered or threatened species are in the project area as there is no critical or desirable habitat. It is likely that little or no impact to endangered or threatened species would occur due to the urban nature of the project site and lack of any tree cover or removal of trees.</p> <p>According to the NYSDEC Environmental Assessment Form Mapping Tool, there were no federal or NYS endangered or threatened species on the project site, nor does it contain any areas identified as habitat for an endangered or threatened species. The site is mostly paved, and no native trees would be removed. Scenic landscaping would be developed to provide an attractive streetscape for the project along Ludlow Street.</p> <p>Source: 15</p>
Other Factors		Beyond those already addressed, no other factors were identified or evaluated for the proposed project.

Additional Studies Performed: An asbestos survey has been completed.

Field Inspection (Date and completed by): James Sexton, Tetra Tech Inc., did a field investigation on January 9, 2015. The field investigation included surface reconnaissance of the sites and assessment of neighborhood conditions.

List of Sources, Agencies and Persons Consulted [40 CFR 1508.9(b)]:

1. New York State. 2013. State of New York Action Plan for Community Development Block Grant Program Disaster Recovery (Action Plan, issued April 25, 2013, amended July 3, 2012) New York State. 2013.
2. New York State. 2013. NY Rising Housing Recovery Program Homeowner Guidebook (Guidebook) (revised December 12, 2013).
3. Federal Aviation Administration. Report to Congress - National Plan of Integrated Airport Systems. Internet Website: http://www.faa.gov/airports/planning_capacity/npias/reports/media/npias-2015-2019-report-appendix-b-part-4.pdf.

4. Federal Aviation Administration. Report to Congress - National Plan of Integrated Airport Systems. Internet Website:
http://www.faa.gov/airports/planning_capacity/npas/reports/media/npas-2015-2019-report-narrative.pdf.
5. New York State Department of State, Office of Communities and Waterfronts – Coastal Boundary Map. Internet Website: http://appext20.dos.ny.gov/coastal_map_public/map.aspx.
6. US Fish and Wildlife Service. 2014. Coastal Barrier Resources Mapper – Beta. Internet Website: <http://www.fws.gov/cbra/Maps/Mapper.html> 1/8/.
7. US Fish and Wildlife Service. 2014. Coastal Barrier Resources System Map Units. Internet Website:
<https://docs.google.com/spreadsheets/cc?key=0AhGJvpYHMZ1ddGIgDWRsZ2RqWDIDUFZDZjJ1M2Q2d0E>.
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<https://msc.fema.gov/portal/search?AddressQuery=7%20ludlow%20st%2C%20yonkers%2C%20ny>.
9. United States Environmental Protection Agency. Green Book Nonattainment Areas. Internet Website: <http://www.epa.gov/oaqps001/greenbk/ancl.html>.
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12. United States Environmental Protection Agency EPA Map of Radon Zones. Internet Website: <http://www.epa.gov/radon/pdfs/zonemapcolor.pdf>.
13. Ecosystems Strategies, Inc. 2012. Phase I Environmental Site Assessment. July 11, 2012.
14. New York State Department of Environmental Conservation (NYSDEC). Environmental Assessment Form Mapping Tool. Internet Website: <http://www.dec.ny.gov/eafmapper/>.
15. United States Department of Housing and Urban Development. Explosive and Flammable Facilities. Internet Website: <https://www.hudexchange.info/environmental-review/explosive-and-flammable-facilities>.
16. United States Department of Housing and Urban Development. Acceptable Separation Distance Guidebook. Internet Website: <https://www.hudexchange.info/resource/2762/acceptable-separation-distance-guidebook/>.
17. United States Department of Agriculture. Natural Resources Conservation Service. Internet Website: <http://websoilsurvey.sc.egov.usda.gov/App/WebSoilSurvey.aspx>.
18. City of Yonkers, Zoning Ordinance, adopted by the City Council of the City of Yonkers on September 19, 2000, by Ordinance No. 4-2000.
19. United States Department of Housing and Urban Development. Noise Abatement and Control. Internet Website:

http://portal.hud.gov/hudportal/HUD?src=/program_offices/comm_planning/environment/review/noise.

20. City of Yonkers. 2007. Code of the City of Yonkers, New York (Updated 05-15-2007, Supplement No. 11), Part VII: Nuisances, Public Welfare, and Criminal, Chapter 66, Noise.

21. United States Environmental Protection Agency. Sole Source Aquifers in New York. Internet Website: <http://www.epa.gov/region02/water/aquifer/>.

22. National Wild and Scenic Rivers System. Internet Website: <http://www.rivers.gov/new-york.php>.

23. New York State Department of Environmental Conservation. Wild Scenic and Recreational Rivers. Internet Website: <http://www.dec.ny.gov/permits/32739.html>.

24. New York State Department of Environmental Conservation GIS Clearinghouse, Potential Environmental Justice Areas in the Binghamton Area. Internet Website: http://www.dec.ny.gov/docs/permits_ej_operations_pdf/westchesterej.pdf.

25. City of Yonkers. 2000. Connections: Yonkers Comprehensive Plan. September 19, 2000.

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30. New York State. 2014. Directory of Public and Non-Public Schools and Administrators in New York State. Internet Website: <http://www.p12.nysed.gov/irs/schoolDirectory/>

31. City of Yonkers, New York. Community Information. Culture and Recreation. Internet Website: <http://www.yonkerschamber.com/culrec.html>

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35. Westchester County Department of Environmental Facilities, 2012. Annual Report. Water and Wastewater Operations Solid Waste Operations. Internet Website: <http://environment.westchestergov.com/images/stories/pdfs/2012AnnualReportDEF.pdf>.

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40. City of Yonkers. 2011. General Ordinance Amending Section 43-47 of the Zoning Code of the City of Yonkers in Regard to the South Broadway District.
41. City of Yonkers. 2011. Consolidated Plan FY2010-2014 and FY2010 Annual Action Plan Submission February 1, 2010-January 31, 2011.
42. New York State Mid-Hudson Region Economic Development Council. 2011. Mid-Hudson Region Strategic Plan.
43. New York State Department of Environmental Conservation, Division of Environmental Remediation. 2013. Brownfield Site Cleanup Agreement, Index. No.: C360079-07-13.
44. City of Yonkers. Yonkers Public Library. Internet website: <http://www.ypl.org/riverfront>
45. New York State Department of Environmental Conservation. Bulk Storage Database Search. Internet Website: <http://www.dec.ny.gov/cfm/xtapps/derexternal/index.cfm?pageid=4>.

Appendices

- A Site Plan Application and Preliminary Site Plans
- B Westchester County Floodplain Map
- C Phase I Environmental Site Assessment
- D Yonkers Potential Environmental Justice Area Map
- E Topographic Map
- F SHPO Correspondence
- G Noise Calculation Worksheet

List of Permits Obtained:

1. Site Plan Approval, City of Yonkers Planning Board, November 21, 2013.

Public Outreach [24 CFR 50.23 & 58.43]: On January 30, 2015, a combined Notice of Finding of No Significant Impact and Intent to Request Release of Funds will be published in the Journal News. Any individual, group or agency may submit written comments on the Environmental Review Record to:

Daniel Greene, Governor's Office of Storm Recovery
25 Beaver Street
New York, New York 10004
(212) 480-4644
NYSCDBG_DR_ER@nyshcr.org

Cumulative Impact Analysis [24 CFR 58.32]:

The proposed project is not expected to trigger cumulative impacts; including the degradation of important natural resources, socioeconomic resources, human health, recreation, quality of life issues, and cultural and historic resources. The proposed project is not of a scale large enough to contribute significantly to cumulative impacts.

Alternatives [24 CFR 58.40(e); 40 CFR 1508.9]

The Ludlow Commons project is being developed to address a long-standing need for affordable housing in the City of Yonkers. The project would include 70 units of affordable housing for seniors in compliance with the goals of the City's Comprehensive Plan, South Broadway District, and Consolidated Plan, as well as the state's Mid-Hudson Region Strategic Plan. The project is reliant on the requested funding for construction. Absent this funding, the project would not be constructed, and the affordable senior housing goals expressed in the referenced planning would not be realized. The only other alternative considered is the No Action Alternative, discussed below.

No Action Alternative [24 CFR 58.40(e)]:

Not undertaking the project would result in the continued physical deterioration of the project site and would not be consistent with the goals and objectives of the Comprehensive Plan, South Broadway District ordinance goals, and other local and state plans. The city and state would not realize their housing and land use goals with no increase in the availability of affordable housing, no increase in senior housing, and no net addition of residents supporting the business and facilities necessary to enhance the viability of South Broadway and the Ludlow neighborhood. The existing, vacant structures would continue to deteriorate, and the resulting blight from these structures could reduce the potential for investment and redevelopment of nearby properties, contributing to blight conditions in the neighborhood. The vacant structures would continue to be a source of potential hazardous materials exposure for neighboring residents, and the buildings could attract squatters and vagrants and be a source of potential harm to themselves and nearby residents. Not constructing the project would result in a loss of potential customers to businesses and services in the neighborhood.

Summary of Findings and Conclusions:

The proposed project would be an appropriate use of the project site. The site plan has already been reviewed and approved by the City of Yonkers for consistency with local zoning ordinance provisions. The project would reverse blight and vacancy conditions at the site and would be consistent with local and regional land use goals and policies for the Ludlow neighborhood. The project would provide for affordable housing consistent with local and state housing goals, and would provide housing for seniors in an area close to existing health and social services. The goals and objectives of GOSR in response to addressing the most impacted counties affected by Hurricanes Sandy and Irene would be achieved. The project would not significantly alter the character, features, or resources of the project area. In some cases the project would result in potential benefits by providing needed housing and new retail choices and employment. The

proposed project would not result in a significant impact on the quality of the human environment.

Mitigation Measures and Conditions [40 CFR 1505.2(c)]

GOSR summarizes below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure
Clean Air Act	All activities will comply with applicable federal, state, and local laws and regulations regarding construction emissions, including but not limited to NYCRR, NYSDEC Air Quality Management Plan, and the New York SIP. All necessary measures will be used to minimize fugitive dust emissions created during program activities, such as demolition of existing structures. The preferred method for dust suppression is water sprinkling.
Contamination and Toxic Substances	All project-related solid waste materials will be managed and transported in accordance with the NYS solid and hazardous waste rules.
Contamination and Toxic Substances	All building demolition activities would follow Lead-Safe Work Practices. All activities would comply with applicable federal, state, and local laws and regulations regarding lead-based paint, including but not limited to, the EPA RRP Rule (40 CFR 745.80 Subpart E), HUD’s lead-based paint regulations in 24 CFR Part 35 Subparts A, B, H, J, and R, and the HUD “Guidelines for the Evaluation and Control of Lead-Based Paint Hazards in Housing.”
Contamination and Toxic Substances	All building demolition activities would conform to: Part 56 of Title 12 of the Official Compilation of Codes, Rules and Regulations of the State of New York Department of Labor (Cited as 12 NYCRR Part 56), the National Emission Standard for Asbestos-Standard for demolition and renovation (40 CFR Part 61.145), and National Emission Standard for Asbestos-Standard for waste disposal for manufacturing, fabricating, demolition, and spraying operations (40 CFR Part 61.150).
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	All improvements made to this site and all conditions imposed by the Planning Board shall remain in full force and effect as long as the site remains in the use identified by the site plan.

NYSHCR

Environmental Review Record

Project Name: Ludlow Commons

Project Location: Yonkers, NY

Page 33 of 34 (plus 189 pages of attachments)

Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	Written guaranties, as required in §43-136, relating to the deferred parking shall be submitted prior to the Planning Director signing the plans.
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	The maximum illumination at any point on adjacent properties shall not exceed two-tenths (0.2) foot- candle. The applicant must provide a clear lighting plan confirming it complies with section 43-121 (B) of the Zoning Ordinance.
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	The site plan must be amended to indicate a dumpster/compactor pad with screening in the rear of the property. The dumpster/compactor must comply with the Department of Public Work's standards. The screening details must be shown on the plans.
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	All heating, ventilation and air conditioning equipment must conform to the noise levels as per Chapter 66 of the City Code, the Noise Ordinance.
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	Proposed landscaping adjacent to the driveway shall not impair driver sight distance.
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	The applicant shall address the increase in the sanitary sewer flow to the Westchester County Treatment plant proposed by the project, by submitting the estimated water demand. The Engineering Department recommends a ratio of 1:1 for inflow/infiltration mitigation.
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	The applicant should coordinate with the water department to take any necessary measure to insure that this project will not have an adverse effect on the City water supply system.
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	The applicant shall be required to comply with the stormwater design and mitigation protocols detailed on the Building Permit Applicant Form entitled, "Stormwater Management Requirements-Department of Housing and Building Permits.
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	Four complete sets of the revised site plan must be submitted to the Planning Bureau within 2) weeks of today or by November 27, 2013.
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	The applicant shall create a stabilized construction entrance on Ludlow Street with a truck wash. Streets in the area should be swept daily.

Determination:

Finding of No Significant Impact [24 CFR 58.40(g)(1); 40 CFR 1508.27]

The project will not result in a significant impact on the quality of the human environment.

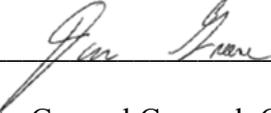
Finding of Significant Impact [24 CFR 58.40(g)(2); 40 CFR 1508.27]

The project may significantly affect the quality of the human environment.

NYSHCR
Environmental Review Record
Project Name: Ludlow Commons
Project Location: Yonkers, NY
Page 34 of 34 (plus 189 pages of attachments)

Preparer Signature:  Date: January 29, 2015

Name/Title/Organization: Derek Farmer, Senior Environmental Planner, Tetra Tech, Inc.

Certifying Officer Signature:  Date: January 29, 2015

Name/Title: Daniel Greene, Deputy General Counsel, Governor's Office of Storm Recovery

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).



Project Location

Ludlow Commons Project
Yonkers, Westchester County, New York

Legend

 Ludlow Commons



Tetra Tech, Inc

Figure 1

APPENDIX A
SITE PLAN APPLICATION AND
PRELIMINARY SITE PLANS

MIKE SPANO
MAYOR

LEE J. ELLMAN, AICP
PLANNING DIRECTOR



87 NEPPERHAN AVENUE, ROOM 320
YONKERS, NEW YORK 10701-3892
914-377-6555
FAX 914-377-6552

PLANNING BUREAU
CITY OF YONKERS

November 21, 2013

Mr. William Schneider, PE, Acting Commissioner
City of Yonkers, Department of Housing and Buildings
87 Nepperhan Avenue, Fifth Floor
Yonkers, NY 10701

Dear Mr. Schneider:

The following matter was referred to the Yonkers Planning Board:

A SITE PLAN APPLICATION FOR A PROPOSED 71 UNIT SENIOR RESIDENTIAL BUILDING AT BLOCK: 185 LOT: 50 ON PROPERTY KNOWN AS 7-17 LUDLOW STREET PURSUANT TO ARTICLE IX OF THE YONKERS ZONING ORDINANCE.

The site plan presented at the Planning Board meeting of November 13, 2013 is approved subject to the following conditions:

1. All improvements made to this site and all conditions imposed by the Planning Board shall remain in full force and effect as long as the site remains in the use identified by the site plan.
2. Written guaranties, as required in §43-136, relating to the deferred parking shall be submitted prior to the Planning Director signing the plans.
3. The maximum illumination at any point on adjacent properties shall not exceed two-tenths (0.2) foot-candle. The applicant must provide a clear lighting plan confirming it complies with section 43- 121 (B) of the Zoning Ordinance.
4. The site plan must be amended to indicate a dumpster/compactor pad with screening in the rear of the property. The dumpster/compactor must comply with the Department of Public Work's standards. The screening details must be shown on the plans.
5. All heating, ventilation and air conditioning equipment must conform to the noise levels as per Chapter 66 of the City Code, the Noise Ordinance,
6. Proposed landscaping adjacent to the driveway shall not impair driver sight distance.
7. The applicant shall address the increase in the sanitary sewer flow to the Westchester County Treatment plant proposed by the project, by submitting the estimated water demand. The Engineering Department recommends a ratio of 1:1 for inflow/infiltration mitigation.
8. The applicant should coordinate with the water department to take any necessary measure to insure that this project will not have an adverse effect on the City water supply system.
9. The applicant shall be required to comply with the stormwater design and mitigation protocols detailed on the Building Permit Applicant Form entitled, "Stormwater Management Requirements-Department of Housing and Building Permits.

10. Four complete sets of the revised site plan must be submitted to the Planning Bureau within two (2) weeks of today or by November 27, 2013.
11. The applicant shall create a stabilized construction entrance on Ludlow Street with a truck wash. Streets in the area should be swept daily.

The Planning Board's resolution and a copy of the approved plan are attached for your files.

Very truly yours,

A handwritten signature in black ink that reads "Roman Kozicky" followed by a stylized flourish.

Roman Kozicky
Planning Board Chairman

Attachment

cc: V. Spano
J. Chu
Plan File

PLANNING BOARD RESOLUTION

RESOLUTION TO APPROVE A SITE PLAN FOR A PROPOSED 71 UNIT SENIOR RESIDENTIAL BUILDING AT BLOCK: 185 LOT: 50 ON PROPERTY KNOWN AS 7-17 LUDLOW STREET PURSUANT TO ARTICLE IX OF THE YONKERS ZONING ORDINANCE.

The Planning Board finds the following:

1. This is application to construct a 71 unit, 8-story senior residential apartment building and parking lot. The site is in an A zoning district which permits high density residential uses.
2. The structure is composed of a brick façade with horizontal sun shades and metal panels. There is also a green roof
3. The proposed development requires 37 parking spaces. The application is seeking a parking deferment for 1/3 of the spaces pursuant to section 43-136 of the zoning ordinance. The plan proposes to provide 25 spaces and defer the remaining 12 spaces. As per the requirements of the zoning ordinance the spaces to be deferred are to be used for landscaping and the parking spaces are to be provided in the future if the need is seen to be then present. The plan proposes to reserve the lot area for the additional spaces if it is determined that there is a need in the future. The use of this zoning tool was suggested by the staff in order to create a useful, quiet siting area for the senior residents of the building.
4. The applicant provided a traffic study which concluded that age restricted developments generate substantially lower traffic volume and associated parking utilization compared to residences without age restrictions. The Board agrees with that analysis and the supporting study. Further from its anecdotal knowledge of the city's senior multifamily residential buildings' parking needs, the Board finds that there is ample vacant parking in those lots such as 185 Riverdale Avenue, Woodstock Manor, Griffin House, Father Finian, and Monastery Manor. Accordingly the Board approves the deferred parking request and but preserves its rights under the zoning ordinance to revisit the matter in the future.
5. This is a permitted use and the plans conform to the zoning ordinance with the exception of the parking deferment.

The site plan presented at the Planning Board meeting of November 13, 2013 is approved subject to the following conditions:

1. All improvements made to this site and all conditions imposed by the Planning Board shall remain in full force and effect as long as the site remains in the use identified by the site plan.
2. Written guaranties, as required in §43-136, relating to the deferred parking shall be submitted prior to the Planning Director signing the plans.
3. The maximum illumination at any point on adjacent properties shall not exceed two-tenths (0.2) foot-candle. The applicant must provide a clear lighting plan confirming it complies with section 43- 121 (B) of the Zoning Ordinance.
4. The site plan must be amended to indicate a dumpster/compactor pad with screening in the rear of the property. The dumpster/compactor must comply with the Department of Public Work's standards. The screening details must be shown on the plans.
5. All heating, ventilation and air conditioning equipment must conform to the noise levels as per Chapter 66 of the City Code, the Noise Ordinance,
6. Proposed landscaping adjacent to the driveway shall not impair driver sight distance.
7. The applicant shall address the increase in the sanitary sewer flow to the Westchester County Treatment plant proposed by the project, by submitting the estimated water demand. The Engineering Department recommends a ratio of 1:1 for inflow/infiltration mitigation.

8. The applicant should coordinate with the water department to take any necessary measure to insure that this project will not have an adverse effect on the City water supply system.
9. The applicant shall be required to comply with the stormwater design and mitigation protocols detailed on the Building Permit Applicant Form entitled, "Stormwater Management Requirements-Department of Housing and Building Permits.
10. Four complete sets of the revised site plan must be submitted to the Planning Bureau within two (2) weeks of today or by November 27, 2013.
11. The applicant shall create a stabilized construction entrance on Ludlow Street with a truck wash. Streets in the area should be swept daily.

The Planning Board renders its decision based upon facts and findings available to it, specifically:

1. Report of the Planning Bureau
2. Report from the City Engineer
3. General knowledge of the site

Date: November 13, 2013
Motion by: J. Kiciuk
Seconded by: M. Gillan
By a vote of: 4-0 (3 absent)



LUDLOW COMMONS, YONKERS, NY

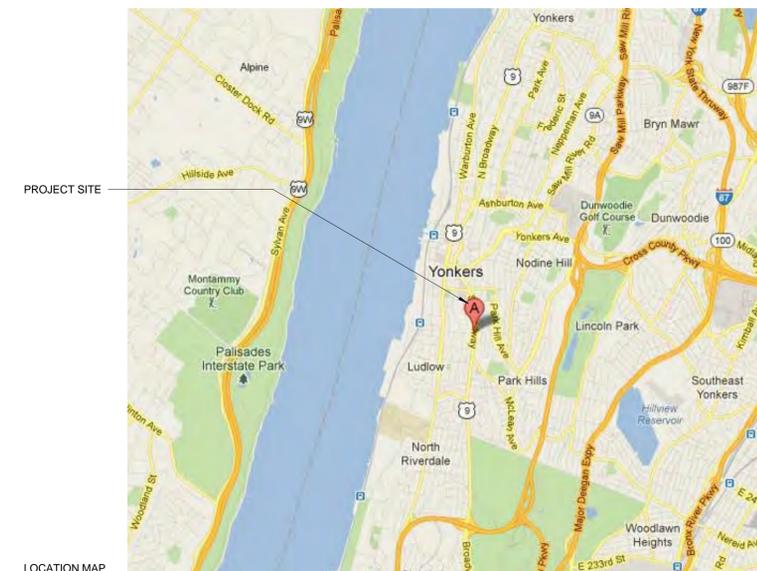
71 UNIT SENIOR 202 HOUSING

ARCHITECTURAL

Sheet List	
Sheet #	Sheet Name
0	Cover
1	Building Code Analysis
2	Zoning
3	Existing Conditions
4	Site - Deferred Parking
5	1st Floor
6	Typical FL
7	Roof Plan
8	Building Section
9	Building Section
10	Building Section
11	North Elevation
12	South Elevation
13	East Elevation
14	West Elevation
15	Typical Unit Layouts
16	Birdseye
17	Street View
18	Renderings
19	Typical Wall Section

11/25/2013 3:45:00 PM

HCR SUBMISSION 11.25.13



Project Title:

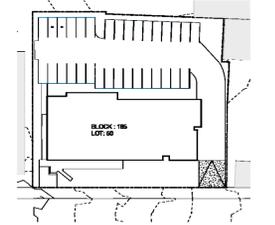
LUDLOW COMMONS

7 Ludlow St Yonkers, NY

Client:

WESTHAB
Building Communities. Changing Lives.

8 Bashford Street, Yonkers, NY 10701
Tel 914.345.2800 Fax 914.376.5014
www.westhab.org



Key Plan:

NUMBER	DATE	DESCRIPTION
1	01-04-13	HCR SUBMISSION
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4	10-02-13	DOB SUBMISSION
5	10-23-13	SITE PLAN SUBMISSION
6	11-25-13	HCR SUBMISSION

Revisions:

Architect of Record:
Magnusson Architecture & Planning PC
42 West 39th Street 15th Floor, New York, NY
Tel: 212.253.7820 Fax: 212.253.1276

Structural Engineer:
GACE
31 West 29th Street, New York, NY 10001
Tel: (212) 545-7079

MEP Engineer:
Esting Engineering Associates
505 Eighth Avenue, 24th Floor
New York, NY 10018
Tel: (212) 348-2410

Landscape Architect:
Terrain-NYC
230 Park Avenue South, Suite 1401
New York, NY 10003
Tel: (212) 537-6000 Fax: (212) 537-6079

Civil Engineer:

Filing Representative:

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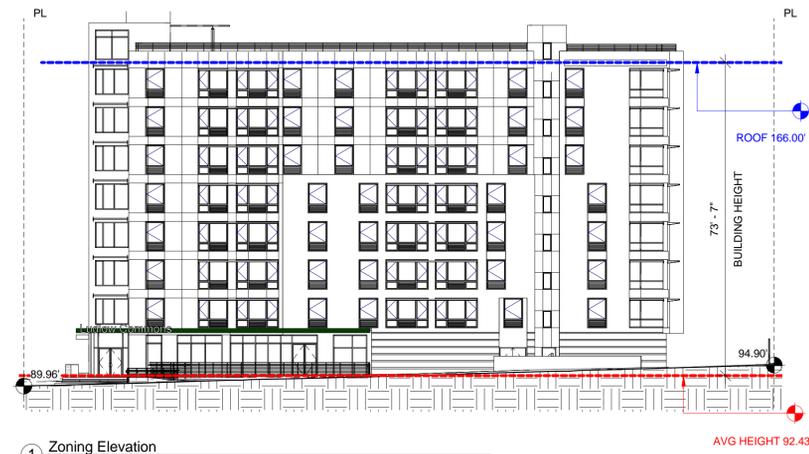
Drawing Title:

Cover

Project Number: 08021
Date: 10-17-12 Drawing #: 0
Scale: Author
Drawn By: Author
Checked By: Checker

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The final drawings will include all items necessary to be in compliance with LEED for Homes provisions indicated in Attachment B9 Green Building Criteria Checklists included with this Unified Funding 2013 application for Ludlow Commons 2013



1 Zoning Elevation
1" = 20'-0"

Location: 7-17 Ludlow Street, City of Yonkers
Block: 185
Lot: 50
Lot Area: 27,930 SF
Zoning District: A: Apartment Houses High Density
Street Width: 50 Feet

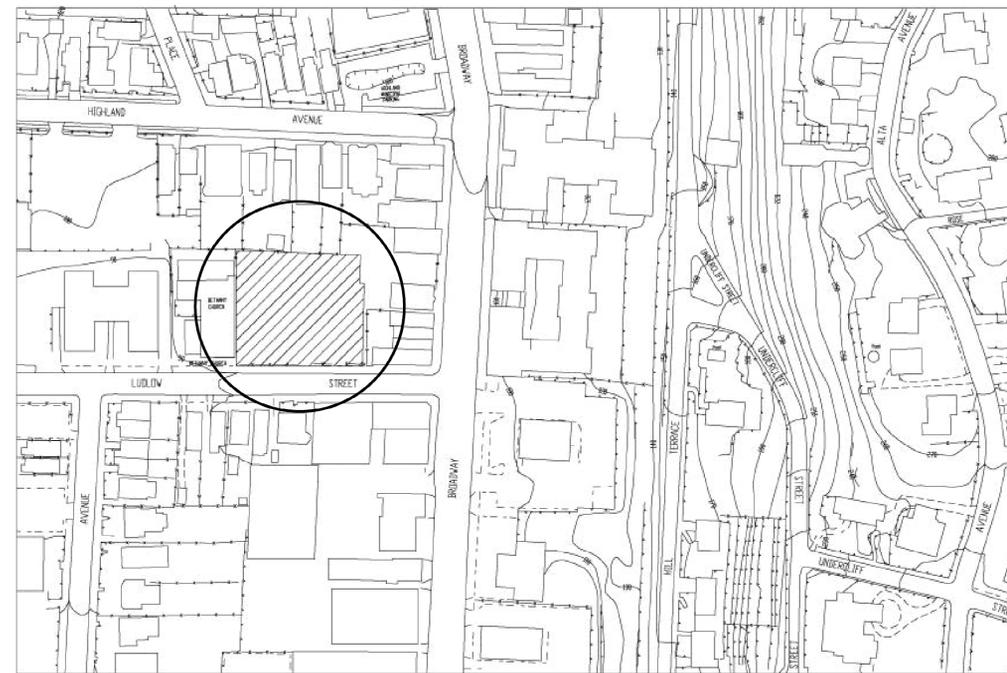
Residential Regulations			
Use Group	Item	Permitted/Required	Proposed
table 43-1	Schedule of use Regulations	Senior Citizens Apartments Permitted use (with supplement requirements)	Senior Citizens Apartments Houses
table 43-7	Schedule of Dimensional Regulations		
	Lot Area (Multi-Family Dwelling)	Not Required	27,861 SF
	Lot Width (Feet)	Not Required	117.17 ft
	Front Yard (Feet)	25 ft	25'-0"
	Rear Yard (Feet)	25 ft	68'-11"
	Side Yard one/both (Feet)	16/32 ft	16' / 37'-5 1/2"
	Building Coverage	40% or 11,172 SF	28.7% or 8,024 SF
	Maximum Height (ft. Stories)	1.5 x Width of Street 1.5 x 50 = 75 ft	8 Stories
	Floor Area Ratio	3.00	2.29
	Floor Area	3.00 x 27,930 = 83,790 SF	64,171 SF
table 43-33	Supplementary regulations for all uses and districts	Rooftop bulkheads, elevator penthouses, water towers, water tanks, monitors, fire towers, hose towers or cooling towers, radio antenna, storage towers or scenery lofts, provided that such features shall be erected only to the height necessary to accomplish the purpose they are intended to serve. The total area covered by such features not to exceed 20% of the horizontal area of the roof on which they are located or 10% of the lot area whichever is the lesser. 20% of 8,035 SF = 1,607 SF	1,024 SF total Bulkhead
	O. exceptions to height limitations		13%
	P. (1) Structural Projections Permitted into required yard and courts	a) Unroofed extension of deck or patio projecting not more than 8 feet. b) Cornices or eaves on the principal building projecting not more than 3 feet. c) Fences and walls as provided for 43-41d. Height limitation of 4 feet. d) Open stair	Ground Floor Deck = 8ft
		e) Awnings or canopies projecting more than 3 feet	Canopy = 3 ft
table 43-4	Schedule for Parking Requirements Minimum number of parking spaces	Senior Citizens Apartment Houses: 0.6 dwelling unit, Super's apartment 1 per du + 0.33 per bedroom = 70 = 35+1.66= 36.18=37 total parking spaces: 37	37 Parking Spaces
	Minimum number of accessible parking spaces	According to the total number pf spaces: 2% of parking spaces 2% of 37 spots = 0.6 spots --> 1	2 ADA Spaces PROVIDED

Apartment Unit Distribution Chart

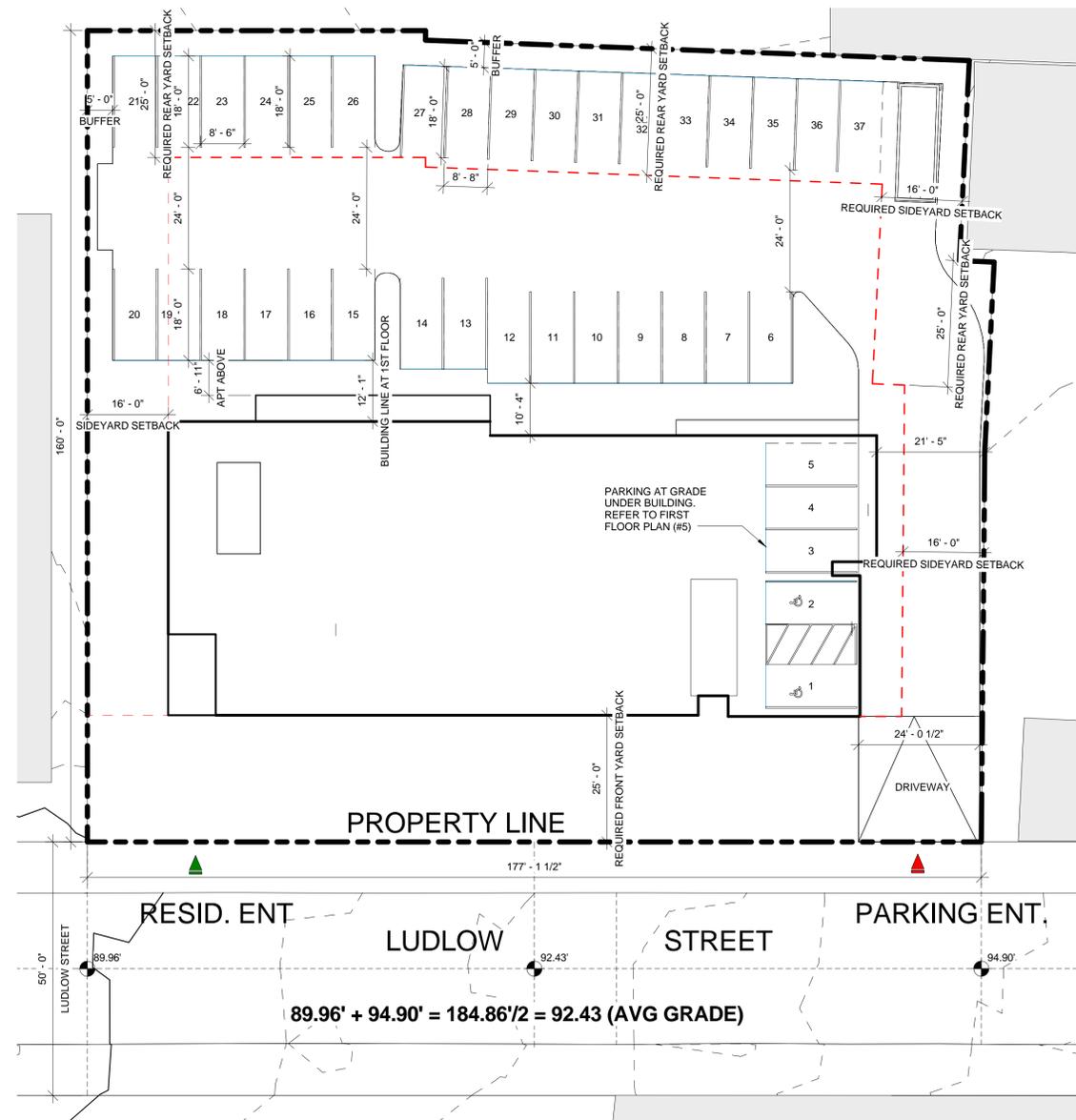
Floor	1BR	2BR	Total
1st Floor	0	1	1
2nd Floor	10	0	10
3rd Floor	10	0	10
4th Floor	10	0	10
5th Floor	10	0	10
6th Floor	10	0	10
7th Floor	10	0	10
8th Floor	10	0	10
Total	70	1	71

Total Gross Square Footage Chart

Floor	Area
1st Floor	8,024 SF
2nd Floor	7,875 SF
3rd Floor	7,875 SF
4th Floor	7,875 SF
5th Floor	7,875 SF
6th Floor	7,875 SF
7th Floor	7,875 SF
8th Floor	7,875 SF
Roof	1,022 SF
Total GSF	64,171 SF



Location Map - City of Yonkers, NY



$89.96' + 94.90' = 184.86' / 2 = 92.43' \text{ (AVG GRADE)}$



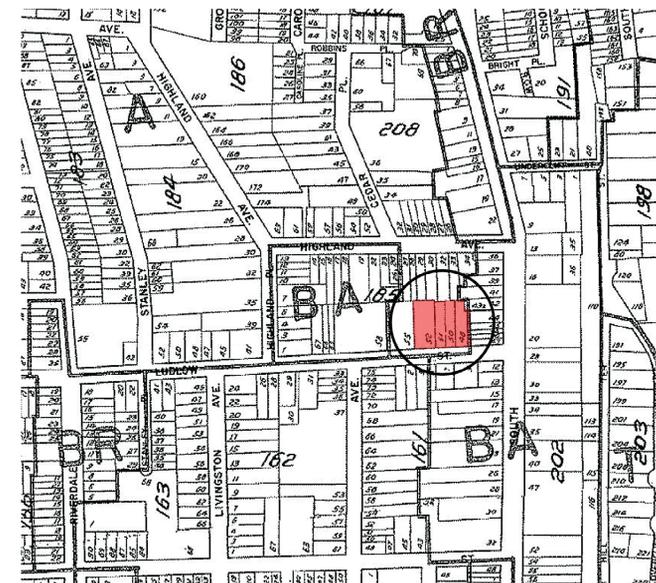
PHOTO 1 AERIAL VIEW LOOKING NORTH



PHOTO 2 AERIAL VIEW LOOKING WEST

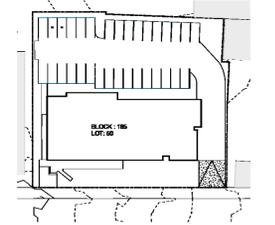


PHOTO 3 AERIAL VIEW LOOKING EAST



Zoning Map

Project Title
LUDLOW COMMONS
7 Ludlow St Yonkers, NY
Client:
WESTHAB
Building Communities. Changing Lives.
8 Bashford Street, Yonkers, NY 10701
Tel 914.345.2800 Fax 914.376.5014
www.westhab.org



Key Plan:

NUMBER	DATE	DESCRIPTION
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Revisions:
Architect of Record:
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New York, NY 10003
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Civil Engineer:

Filing Representative:
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Drawing Title:
Zoning

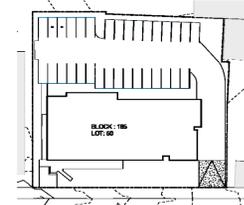
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Date: 10-17-12 Drawing #: 2
Scale: As indicated
Drawn By: Author
Checked By: Checker

LUDLOW COMMONS

7 Ludlow St Yonkers, NY



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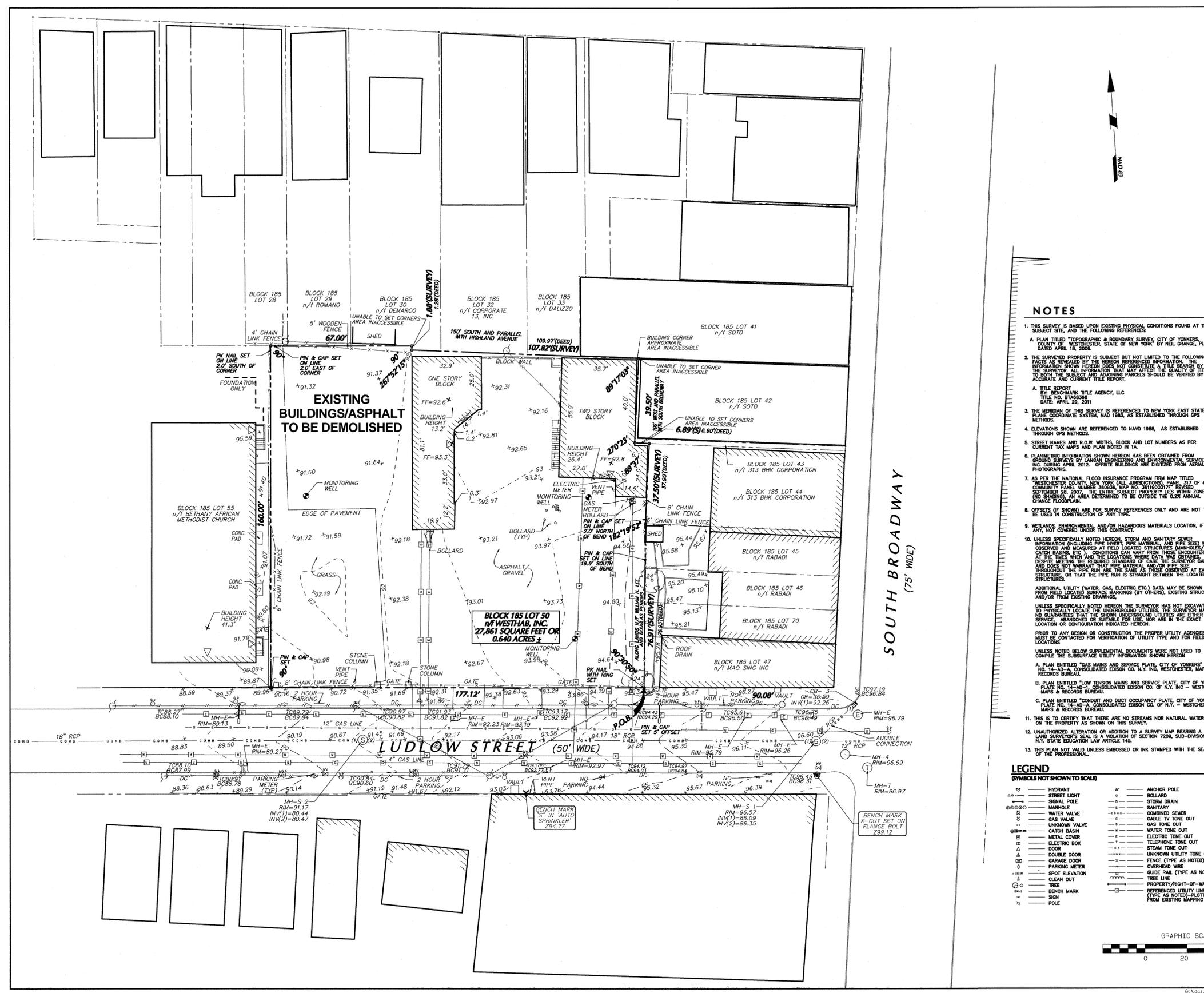
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Drawing Title:
ALTA/ACSM LAND TITLE SURVEY
BLOCK 185, LOT 50

Project No.	100298901	Drawing No.	VT101
Date	5/23/2012	Scale	1"=20'
Drn. By	KEC	Checked By	PDF
			1 OF 1

Project Number: 08021
Date: 10-17-12
Scale: 1"=20'
Drawing #: 3
Drawn By: Author
Checked By: Checker



NOTES

- THIS SURVEY IS BASED UPON EXISTING PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, AND THE FOLLOWING REFERENCES:
- PLAN TITLED "TOPOGRAPHIC & BOUNDARY SURVEY OF YONKERS, COUNTY OF WESTCHESTER, STATE OF NEW YORK" BY NEIL GRANGE, PLS., DATED APRIL 18, 2006.
- THE SURVEYED PROPERTY IS SUBJECT BUT NOT LIMITED TO THE FOLLOWING FACTS AS REVEALED BY THE HEREON REFERENCED INFORMATION. THE INFORMATION SHOWN HEREON DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION THAT MAY AFFECT THE QUALITY OF TITLE TO BOTH THE SUBJECT AND ADJOINING PARCELS SHOULD BE VERIFIED BY AN ACCURATE AND CURRENT TITLE REPORT.
- TITLE REPORT BY BENCHMARK TITLE AGENCY, LLC DATE: APRIL 28, 2011
- THE MERIDIAN OF THIS SURVEY IS REFERENCED TO NEW YORK EAST STATE PLANE COORDINATE SYSTEM, NAD 1983, AS ESTABLISHED THROUGH GPS METHODS.
- ELEVATIONS SHOWN ARE REFERENCED TO NAVD 1988, AS ESTABLISHED THROUGH GPS METHODS.
- STREET NAMES AND R.O.M. WIDTHS, BLOCK AND LOT NUMBERS AS PER CURRENT TAX MAPS AND PLAN NOTED IN 1A.
- PLANIMETRIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC. DURING APRIL 2012. OFFSITE BUILDINGS ARE DIGITIZED FROM AERIAL PHOTOGRAPHS.
- AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP TITLED "WESTCHESTER COUNTY, NEW YORK (ALL JURISDICTIONS), PANEL 377 OF 426, CONSUMERS PANEL NUMBER 30038, MAP NO. 81100307P, REVISED SEPTEMBER 28, 2007, THE ENTIRE SUBJECT PROPERTY LIES WITHIN ZONE X (NO SHADING AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).
- OFFSETS (IF SHOWN) ARE FOR SURVEY REFINEMENT ONLY AND ARE NOT TO BE USED IN CONSTRUCTION OF ANY TYPE.
- WETLANDS, ENVIRONMENTAL AND/OR HAZARDOUS MATERIALS LOCATION, IF ANY, NOT GENERATED BY ANY TYPE.
- UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER NETWORKS INCLUDING PIPE TYPES, PIPE MATERIALS, AND PIPE SIZES WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/ CATCH BASINS) INCLUDING 1" MAN HOLES FROM THESE CALCULATIONS AND AT THE TIMES WHEN AND THE LOCATIONS WHERE DATA WAS OBTAINED. DESIGN REQUIRES THE REQUIRED STAMPS AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE COPIED AT EACH STRUCTURE OR THAT THE PIPE RUN IS STRAIGHT THROUGH THE LOCATED STRUCTURES.
- ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.
- UNLESS SPECIFICALLY NOTED HEREON THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
- PRIOR TO ANY DESIGN OR CONSTRUCTION THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- UNLESS NOTED BELOW SUPPLEMENTAL DOCUMENTS WERE NOT USED TO COMPLETE THE SUBSURFACE UTILITY INFORMATION SHOWN HEREON

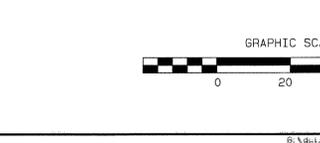
- PLAN ENTITLED "GAS MAINS AND SERVICE PLATE, CITY OF YONKERS" PLATE NO. 14-40-A, CONSOLIDATED EDISON CO. OF N.Y., INC. WESTCHESTER, MAPS & RECORDS BUREAU.
- PLAN ENTITLED "LOW TENSION MAINS AND SERVICE PLATE, CITY OF YONKERS" PLATE NO. 14-40-B, CONSOLIDATED EDISON CO. OF N.Y., INC. WESTCHESTER, MAPS & RECORDS BUREAU.
- PLAN ENTITLED "CONDUIT AND DUCT OCCUPANCY PLATE, CITY OF YONKERS" PLATE NO. 14-40-C, CONSOLIDATED EDISON CO. OF N.Y., INC. WESTCHESTER, MAPS & RECORDS BUREAU.

- THIS IS TO CERTIFY THAT THERE ARE NO STREAMS NOR NATURAL WATERCOURSES ON THE PROPERTY AS SHOWN ON THIS SURVEY.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 2706, SUB-DIVISION 2 OF N.Y. STATE EDUCATION LAW ARTICLE 145.
- THIS PLAN NOT VALID UNLESS EMBOSSED OR INK STAMPED WITH THE SEAL OF THE PROFESSIONAL.

LEGEND

SYMBOLS NOT SHOWN TO SCALE

○	HYDRANT	○	ANCHOR POLE
○	STREET LIGHT	○	BOLLARD
○	SIGNAL POLE	○	STORM DRAIN
○	MANHOLE	○	SANITARY
○	WATER VALVE	○	COMBINED SEWER
○	GAS VALVE	○	CABLE TV TONE OUT
○	UNKNOWN VALVE	○	GAS TONE OUT
○	CATCH BASIN	○	WATER TONE OUT
○	METAL COVER	○	ELECTRIC TONE OUT
○	ELECTRIC BOX	○	TELEPHONE TONE OUT
○	DOOR	○	STEAM TONE OUT
○	DOUBLE DOOR	○	UNKNOWN UTILITY TONE OUT
○	GARAGE DOOR	○	FENCE (TYPE AS NOTED)
○	PARKING METER	○	OVERHEAD WIRE
○	SPOT ELEVATION	○	GUIDE RAIL (TYPE AS NOTED)
○	CLEAN OUT	○	PROPERTY/RIGHT-OF-WAY LINE
○	TREE	○	REFERENCED UTILITY LINE
○	BENCH MARK	○	TYPE AS NOTED
○	POLE	○	FROM EXISTING MAPPING



CERTIFICATION

Westhab, Inc.
Hein Rosenberg, Esq.
Benchmark Title Agency, LLC.

I, hereby state that this plan is based on a field survey made by me or under my immediate supervision in accordance with NYSPLS Code of Practice for Land Surveyors. Field Survey completed during April 2012, and to the best of my professional knowledge, information and belief, and in my professional opinion, correctly represents the conditions found on the date of the field survey of the subject property.

This is to certify that this map or plan and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, duly established and adopted by ALA and NPSLS and includes items 1, 2, 3, 4, 6(a), 7(c), 8, 9, 10(d), 11(d), 12, 13, 16, 18 and 20(c) of Table A thereof. The field work was completed during April 2012.

The survey was made on the ground during April 2012 and correctly shows the area of the subject property, the location, size, and type of all buildings, structures and other improvements situated on the subject property, all driveways or other cuts in the curb upon any street which the subject property abuts, and any other matters situated on the subject property, the courses and distances and other information contained in the survey are correct.

Except as shown on the survey, there are no visible encroachments or rights of way of which the undersigned has been advised.

Except as shown hereon, there are no observable, above ground encroachments (e) by the improvements on the subject property upon adjoining properties, streets or alleys, or (f) by the improvements on adjoining properties, streets or alleys upon the subject property.

The location of each easement, right or way, servitude, and other matters affecting the subject property and listed in the title insurance commitment no. 8714682, dated 04-28-2011 issued by Benchmark Title Agency, LLC with respect to the subject property, has been shown on the survey, together with appropriate recording references, to the extent that such matters can be located. The property shown on the survey is the property described in that title commitment. The location of all improvements on the subject property is in accord with restrictions of record referenced in such title commitment, minimum setback provisions, and other building restrictions.

The subject property has access to and from a duly dedicated and accepted public street or highway.

Except as shown hereon the subject property does not serve any adjoining property for drainage, utilities, or ingress or egress.

The record description of the subject property forms a mathematically closed figure.

Except as shown on the survey, no portion of the property shown on the survey lies within a Special Hazard Area as described on the Flood Insurance Rate Map for the community in which the subject property is located.

The parties listed above certify that they are the owner of the survey and this certificate as being true and accurate.

Date: _____
Signature: _____
HEIN ROSENBERG
PROFESSOR OF LAND SURVEYING, N.Y. LICENSE NO. 050784

Date	Description	No.
Revisions		
LANGAN ENGINEERING & ENVIRONMENTAL SERVICES		
21 Penn Plaza 360 West 31st Street, 8th Floor New York, NY 10001-2277 P: 212.479.5400 F: 212.479.5444 www.langan.com		
NEW JERSEY PENNSYLVANIA NEW YORK CONNECTICUT FLORIDA VIRGINIA CALIFORNIA NEVADA		

Project:
7-17 LUDLOW STREET
CITY OF YONKERS
WESTCHESTER COUNTY NEW YORK

Drawing Title:
ALTA/ACSM LAND TITLE SURVEY
BLOCK 185, LOT 50

Project No.	100298901	Drawing No.	VT101
Date	5/23/2012	Scale	1"=20'
Drn. By	KEC	Checked By	PDF
			1 OF 1

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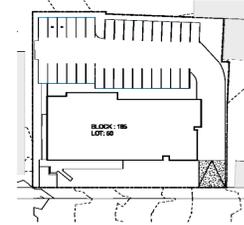
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Key Plan:

NUMBER	DATE	DESCRIPTION
1	01-04-13	HCR SUBMISSION
2	02-27-13	DOB SUBMISSION
3	02-28-13	HUD SUBMISSION
4	10-02-13	DOB SUBMISSION
5	10-23-13	SITE PLAN SUBMISSION
6	11-25-13	HCR SUBMISSION

Revisions:
Architect of Record:
Magnusson Architecture & Planning PC
42 West 39th Street 15th Floor, New York, NY
Tel: (212) 545-7029

Structural Engineer:
GACE
31 West 27th Street, New York, NY 10001
Tel: (212) 545-7029

MEP Engineer:
Estinger Engineering Associates
505 Eighth Avenue, 24th Floor
New York, NY 10018
Tel: (212) 545-7029

Landscape Architect:
Terrain-NYC
230 Park Avenue South, Suite 1401
New York, NY 10003
Tel: (212) 537-6000 Fax: (212) 537-6079

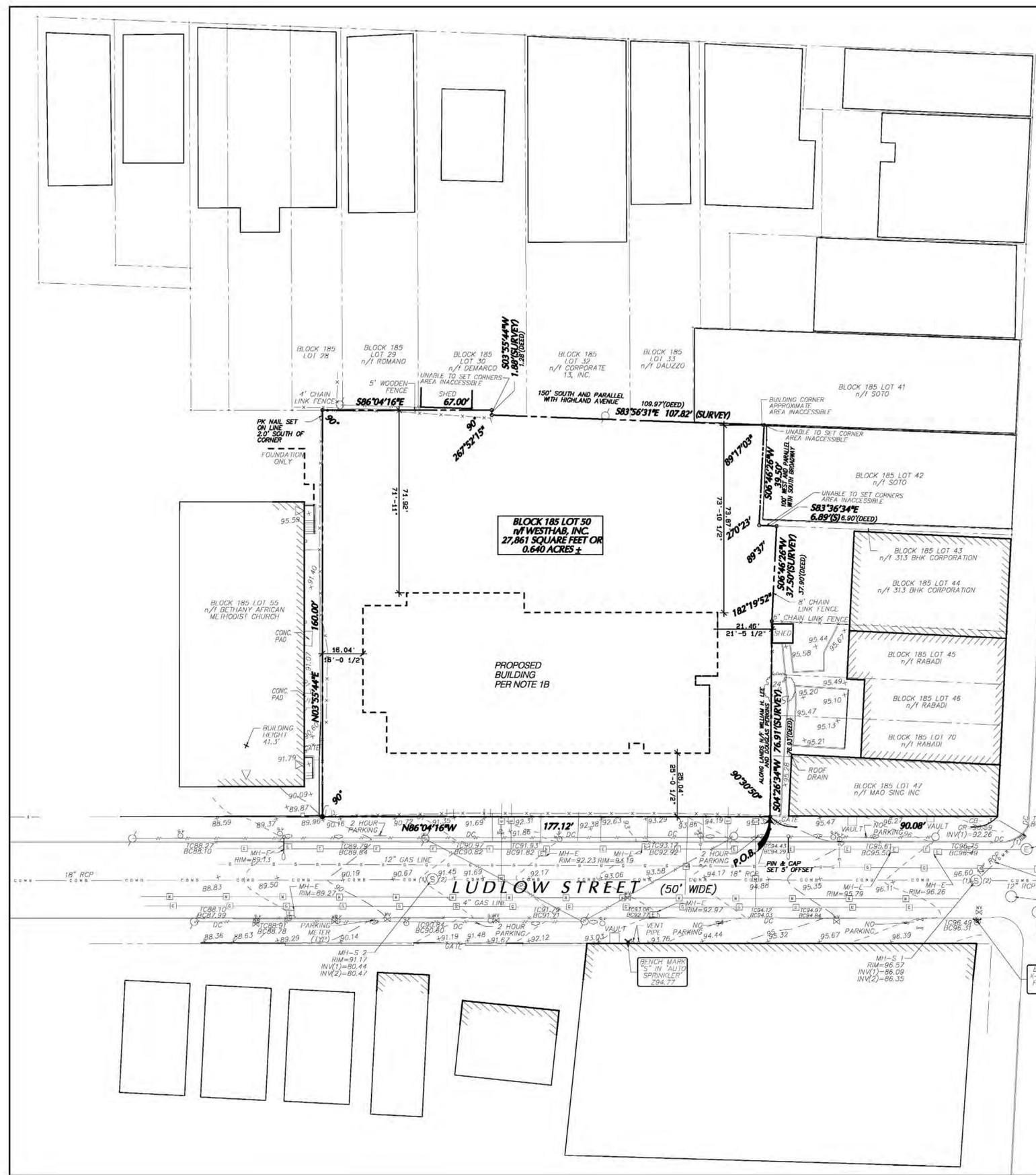
Civil Engineer:

Filing Representative:
LANGAN
21 Penn Plaza, 380 West 31st Street, 8th Floor, New York, NY 10001
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NEW YORK NEW YORK VIRGINIA CALIFORNIA
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Scale:
Drawing Title:
Proposed Conditions

Project Number: 08021
Date: 10-17-12 Drawing #: 3A
Scale: 1"=20'
Drawn By: Author
Checked By: Checker



SOUTH BROADWAY (75' WIDE)

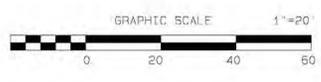
NOTES

- THIS SURVEY IS BASED UPON EXISTING PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, AND THE FOLLOWING REFERENCES:
 - PLAN TITLED "TOPOGRAPHIC & BOUNDARY SURVEY, CITY OF YONKERS, COUNTY OF WESTCHESTER, STATE OF NEW YORK" BY NEIL GRANGE, PLS, DATED APRIL 18, 2003.
 - PROPOSED BUILDING LOCATION CAD FILES PROVIDED BY MAGNUSSON ARCHITECTURE & PLANNING, P.C. ON OCTOBER 3, 2013.
- THE SURVEYED PROPERTY IS SUBJECT BUT NOT LIMITED TO THE FOLLOWING FACTS AS REVEALED BY THE FOREGOING REFERENCED INFORMATION. THE INFORMATION SHOWN HEREON DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION THAT MAY AFFECT THE QUALITY OF TITLE TO BOTH THE SUBJECT AND ADJOINING PARCELS SHOULD BE VERIFIED BY AN ACCURATE AND CURRENT TITLE REPORT.
 - TITLE REPORT BY: BENCHMARK TITLE AGENCY, LLC DATE: APRIL 29, 2011
- THE MERIDIAN OF THIS SURVEY IS REFERENCED TO NEW YORK EAST STATE PLANE COORDINATE SYSTEM, NAD 1983, AS ESTABLISHED THROUGH GPS METHODS.
- ELEVATIONS SHOWN ARE REFERENCED TO NAVD 1988, AS ESTABLISHED THROUGH GPS METHODS.
- STREET NAMES AND R.O.W. WIDTHS, BLOCK AND LOT NUMBERS AS PER CURRENT TAX MAPS AND PLAN NOTED IN 1A.
- PLANIMETRIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC. DURING APRIL 2012. OFFSITE BUILDINGS ARE DIGITIZED FROM AERIAL PHOTOGRAPHS.
- AS PER THE NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP TITLED "WESTCHESTER COUNTY, NEW YORK (ALL JURISDICTIONS), PANEL 317 OF 426, COMMUNITY PANEL NUMBER 30000, MAP NO. 301100037F, REVISED SEPTEMBER 28, 2007, THE ENTIRE SUBJECT PROPERTY LIES WITHIN ZONE X (NO SHADING) AN AREA DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN.
- OFFSETS (IF SHOWN) ARE FOR SURVEY REFERENCES ONLY AND ARE NOT TO BE USED IN CONSTRUCTION OF ANY TYPE.
- WETLANDS, ENVIRONMENTAL AND/OR HAZARDOUS MATERIALS LOCATION, IF ANY, NOT COVERED UNDER THIS CONTRACT.
- UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES, CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE OBSERVED AT THE TIMES WHEN AND THE LOCATIONS WHERE DATA WAS OBTAINED. DESPITE MEETING THE REQUIRED STANDARDS OF CARE, THE SURVEYOR CANNOT AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
- ADDITIONAL UTILITY (WATER, GAS, ELECTRIC, ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.
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- UNLESS NOTED BELOW SUPPLEMENTAL DOCUMENTS WERE NOT USED TO COMPLETE THE SUBSURFACE UTILITY INFORMATION SHOWN HEREON.
 - PLAN ENTITLED "GAS MAINS AND SERVICE PLATE, CITY OF YONKERS" PLATE NO. 14-A-4-A, CONSOLIDATED ESDON CO. N.Y. INC., WESTCHESTER, MAPS & RECORDS BUREAU.
 - PLAN ENTITLED "LOW TENSION MAINS AND SERVICE PLATE, CITY OF YONKERS" PLATE NO. 14-A-4-A, CONSOLIDATED ESDON CO. N.Y. INC., WESTCHESTER, MAPS & RECORDS BUREAU.
 - PLAN ENTITLED "CONDUIT AND DUCT OCCUPANCY PLATE, CITY OF YONKERS" PLATE NO. 14-A-4-A, CONSOLIDATED ESDON CO. N.Y. INC., WESTCHESTER, MAPS & RECORDS BUREAU.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7208, SUB-DIVISION 2 OF N.Y. STATE EDUCATION LAW ARTICLE 145.
- THIS PLAN NOT VALID UNLESS EMBOSSED OR INK STAMPED WITH THE SEAL OF THE PROFESSIONAL.
- THE INTENT OF THIS PLAN IS TO DEPICT PROPOSED BUILDING LOCATIONS RELATIVE TO THE SITE BOUNDARY. THE BUILDING DESIGN AND LOCATION WAS NOT PREPARED BY LANGAN NOR WAS IT COMPLETED UNDER LANGAN'S SUPERVISION.

LEGEND

SYMBOLS NOT SHOWN TO SCALE

—	HYDRANT	—	ANCHOR POLE
—	STREET LIGHT	—	SEILLAR
—	SIGNAL POLE	—	STORM DRAIN
—	MANHOLE	—	SANITARY
—	WATER VALVE	—	COMBINED SEWER
—	GAS VALVE	—	CABLE TV TONE OUT
—	UNKNOWN VALVE	—	GAS TONE OUT
—	CATCH BASIN	—	WATER TONE OUT
—	METAL COVER	—	ELECTRIC TONE OUT
—	ELECTRIC BOX	—	TELEPHONE TONE OUT
—	DOOR	—	STEAM TONE OUT
—	DOUBLE DOOR	—	UNKNOWN UTILITY TONE OUT
—	GARAGE DOOR	—	FENCE (TYPE AS NOTED)
—	PARKING METER	—	OVERHEAD WIRE
—	CLEAN OUT	—	GUIDE RAIL (TYPE AS NOTED)
—	TREE	—	TREE LINE
—	BENCH MARK	—	PROPERTY/RIGHT-OF-WAY LINE
—	SIGN	—	REFERENCED UTILITY LINE (TYPE AS NOTED)-PLOTTED FROM EXISTING MAPPING
—	POLE		



Date	Description	No.
10/3/2013	Revised Proposed Building Location per Architect Request	1

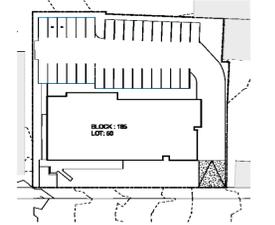
PAUL D. FISHER DATE
PROFESSIONAL LAND SURVEYOR N.Y. LIC. NO. 0507864

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ARIZONA ALABAMA MISSISSIPPI
ILLINOIS MISSOURI

Project: **7-17 LUDLOW STREET**
CITY OF YONKERS
WESTCHESTER COUNTY NEW YORK

Drawing Title:
BOUNDARY SURVEY SHOWING PROPOSED CONDITIONS
BLOCK 185, LOT 50

Project No. 100298901	Drawing No.
Date 4/02/2013	VB-101
Scale 1"=20'	
Drn. By KEC	
Checked By PDF	1 OF 1



Key Plan:

NUMBER	DATE	DESCRIPTION
1	01-04-13	DCR SUBMISSION
2	02-27-13	DOB SUBMISSION
3	02-28-13	HUD SUBMISSION
4	10-02-13	DOB SUBMISSION
5	10-23-13	SITE PLAN SUBMISSION
6	11-25-13	DCR SUBMISSION

Revisions:
 Architect of Record:

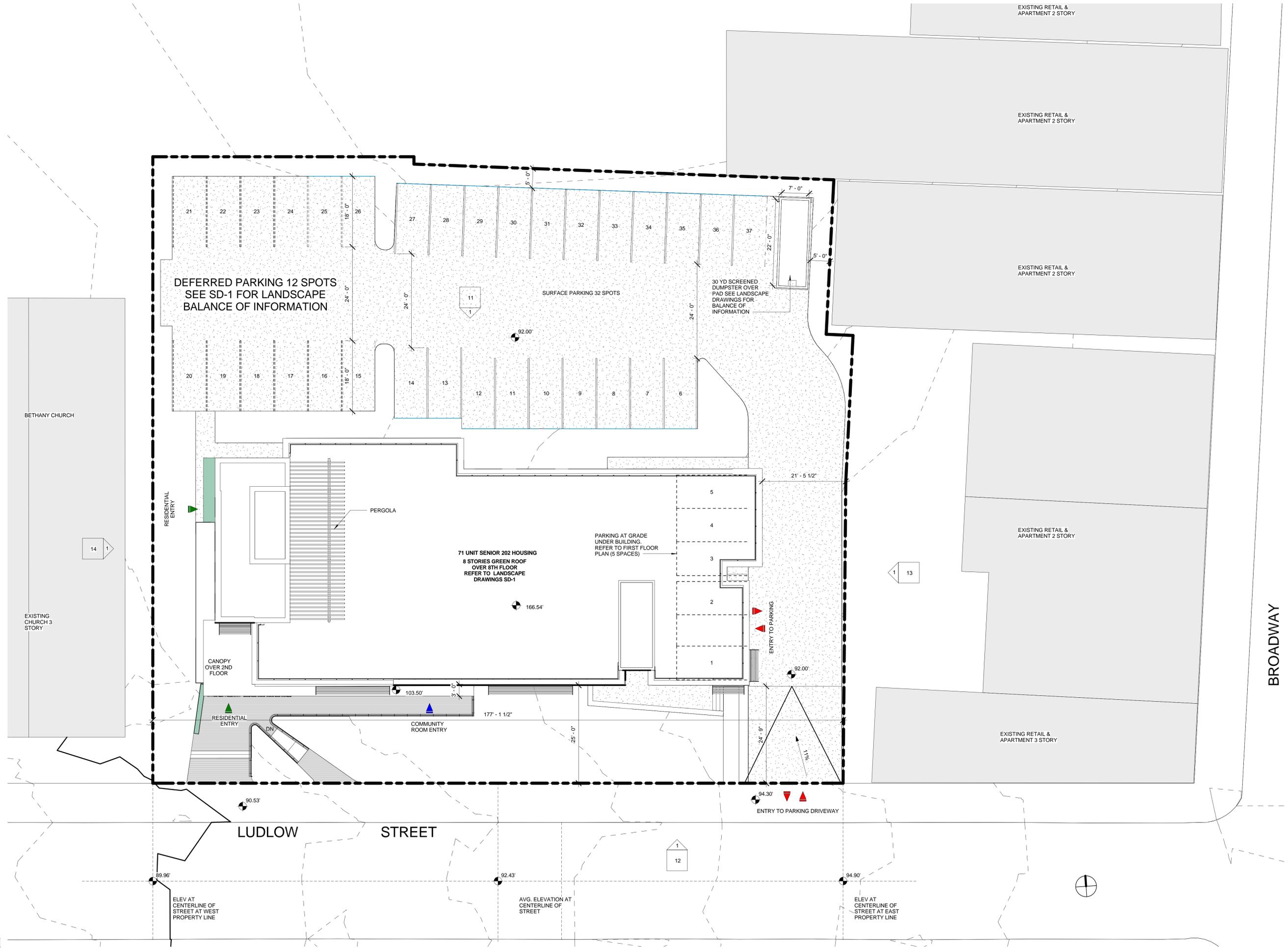
 42 West 39th Street 15th Floor, New York, NY
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Drawing Title:
Site - Deferred Parking

Project Number: 08021
 Date: 10-17-12 Drawing #: 4
 Scale: 3/32" = 1'-0"
 Drawn By: Author
 Checked By: Checker



LUDLOW COMMONS

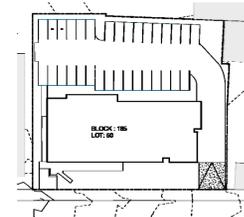
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Client:



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Key Plan:

Issued:

NUMBER	DATE	DESCRIPTION
1	01-04-13	HC SUBMISSION
2	02-27-13	DOB SUBMISSION
3	02-28-13	HUD SUBMISSION
4	10-02-13	DOB SUBMISSION
5	10-23-13	SITE PLAN SUBMISSION
6	11-25-13	HC SUBMISSION

Revisions:

Architect of Record:

Magnusson Architecture & Planning PC
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Civil Engineer:

Filing Representative:

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Scale:

Drawing Title:

North Elevation

Project Number: 08021

Date: 10-17-12 Drawing #:

Scale: 3/16" = 1'-0"

Drawn By: Author

Checked By: Checker

11

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1 North
3/16" = 1'-0"

10/20/12 10:26:38 AM

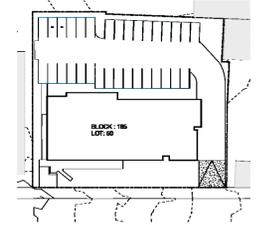
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Key Plan:

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4	10-02-13	DOB SUBMISSION
5	10-23-13	SITE PLAN SUBMISSION
6	11-25-13	HCR SUBMISSION

Revisions:

Architect of Record:
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New York, NY 10003
Tel: (212) 537-6000 Fax: (212) 537-6079

Civil Engineer:

Filing Representative:

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Scale:

Drawing Title:
South Elevation

Project Number:	08021
Date:	10-17-12
Scale:	3/16" = 1'-0"
Drawn By:	Author
Checked By:	Checker



HORIZONTAL SUN SHADES

STOREFRONT

GREEN CANOPY OVER 1ST FLOOR

OUTDOOR DECK

Ludlow Commons

Bulkhead 174' - 0"

Roof 166' - 0"

Level 8 157' - 0"

Level 7 148' - 0"

Level 6 139' - 0"

Level 5 130' - 0"

Level 4 121' - 0"

Level 3 112' - 0"

Level 2 103' - 0"

Level 1 92' - 0"

BUILDING HEIGHT FROM AVG ELEV

AVG HEIGHT 92.43

LUDLOW COMMONS

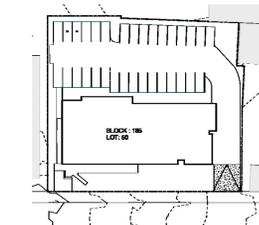
7 Ludlow St Yonkers, NY

Client:



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Key Plan:

Issued:

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6	11-25-13	HCR SUBMISSION

Revisions:

Architect of Record:

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Landscape Architect:

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New York, NY 10003
Tel (212) 537-6000 Fax (212) 537-6079

Civil Engineer:

Filing Representative:

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Scale:



1 East
3/16" = 1'-0"

Drawing Title
East Elevation

Project Number:	08021
Date:	10-17-12
Scale:	3/16" = 1'-0"
Drawn By:	Author
Checked By:	Checker

LUDLOW COMMONS

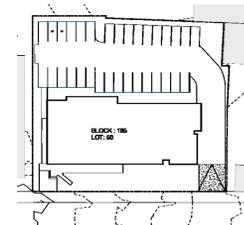
7 Ludlow St Yonkers, NY

Client:



Building Communities. Changing Lives.

8 Bashford Street, Yonkers, NY 10701
Tel 914.345.2800 Fax 914.376.5014
www.westhab.org



Key Plan:

Issued:

NUMBER	DATE	DESCRIPTION
1	01-04-13	HCR SUBMISSION
2	02-27-13	DOB SUBMISSION
3	02-28-13	HUD SUBMISSION
4	10-02-13	DOB SUBMISSION
5	10-23-13	SITE PLAN SUBMISSION
6	11-25-13	HCR SUBMISSION

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Civil Engineer:

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Seal:



1 West
3/16" = 1'-0"

Drawing Title
West Elevation

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Date:	10-17-12
Scale:	3/16" = 1'-0"
Drawn By:	Author
Checked By:	Checker



Project Title

LUDLOW COMMONS

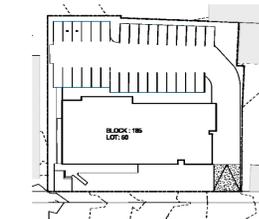
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Key Plan:

NUMBER	DATE	DESCRIPTION
1	01-04-13	HCR SUBMISSION
2	02-27-13	DOB SUBMISSION
3	02-28-13	HUD SUBMISSION
4	10-02-13	DOB SUBMISSION
5	10-23-13	SITE PLAN SUBMISSION
6	11-25-13	HCR SUBMISSION

Revisions:

Architect of Record:
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Seal:

Street View

Project Number:	08021
Date:	10-17-12
Scale:	Author
Drawn By:	17
Checked By:	Checker

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Project Title

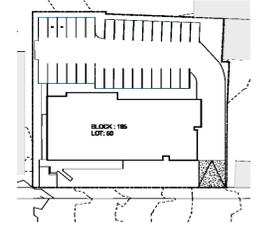
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Key Plan:

NUMBER	DATE	DESCRIPTION
1	01-04-13	RCR SUBMISSION
2	02-27-13	DOB SUBMISSION
3	02-28-13	HUD SUBMISSION
4	10-02-13	DOB SUBMISSION
5	10-23-13	SITE PLAN SUBMISSION
6	11-25-13	RCR SUBMISSION

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Renderings

Project Number: 08021
 Date: 10-17-12 Drawing #: 18
 Scale:
 Drawn By: Author
 Checked By: Checker

APPENDIX B
WESTCHESTER COUNTY FLOODPLAIN MAP

NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The **community map repository** should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where **Base Flood Elevations (BFEs)** and/or **floodways** have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Coastal Base Flood Elevations shown on this map apply only landward of 0.0' North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The **projection** used in the preparation of this map was Universal Transverse Mercator (UTM) zone 18. The **horizontal datum** was NAD 83, GRS80 spheroid. Differences in datum, spheroid, projection or UTM zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same **vertical datum**. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

NGS Information Services
NOAA, N/INGS12
National Geodetic Survey
SSMC-3, #9202
1315 East-West Highway
Silver Spring, Maryland 20910-3282
(301) 713-3242

To obtain current elevation, description, and/or location information for **bench marks** shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242, or visit its website at <http://www.ngs.noaa.gov>.

Base map information shown on this FIRM was derived from digital orthophotography provided by the New York State Office of Cyber Security & Critical Infrastructure Coordination. This information was produced as 20-centimeter resolution natural color orthoimagery from photography dated April 2004.

Based on updated topographic information, this map reflects more detailed and up-to-date **stream channel configurations and floodplain delineations** than those shown on the previous FIRM for this jurisdiction. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study Report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map. Also, the road to floodplain relationships for unreviewed streams may differ from what is shown in previous maps.

Corporate limits shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels; community map repository addresses; and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

Contact the **FEMA Map Service Center** at 1-800-358-9616 for information on available products associated with this FIRM. Available products may include previously issued Letters of Map Change, a Flood Insurance Study report, and/or digital versions of this map. The FEMA Map Service Center may also be reached by Fax at 1-800-358-9620 and its website at <http://msc.fema.gov>.

If you have **questions about this map** or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA MAP (1-877-336-2627) or visit the FEMA website at <http://www.fema.gov>.



LEGEND

- SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD
- The 1% annual flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.
- ZONE A** No Base Flood Elevations determined.
- ZONE AE** Base Flood Elevations determined.
- ZONE AH** Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
- ZONE AO** Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
- ZONE AR** Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently dewatered. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
- ZONE A99** Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.
- ZONE V** Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
- ZONE VE** Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.
- FLOODWAY AREAS IN ZONE AE
- The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.
- OTHER FLOOD AREAS**
- ZONE X** Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
- OTHER AREAS**
- ZONE X** Areas determined to be outside the 0.2% annual chance floodplain.
- ZONE D** Areas in which flood hazards are undetermined, but possible.
- COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS**
- OTHERWISE PROTECTED AREAS (OPAs)**
- CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.
- 1% annual chance floodplain boundary
- 0.2% annual chance floodplain boundary
- Floodway boundary
- Zone D boundary
- CBRS and OPA boundary
- Boundary dividing Special Flood Hazard Area Zones and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.
- Base Flood Elevation line and value; elevation in feet*
- Base Flood Elevation value where uniform within zone; elevation in feet*
- * Referenced to the North American Vertical Datum of 1988
- Cross section line
- Limited detail cross section line
- Transect line
- 87°07'45", 32°22'30" Geographic coordinates referenced to the North American Datum of 1983 (NAD 83), Western Hemisphere
- 1000-meter Universal Transverse Mercator grid values, zone 18N
- 5000-foot grid ticks: New York State Plane coordinate system, East zone (FIPSZONE 3101), Transverse Mercator projection
- DX5510 x Bench mark (see explanation in Notes to Users section of this FIRM panel)
- M1.5 River Mile

MAP REPOSITORY
Refer to listing of Map Repositories on Map Index.

EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP
September 28, 2007

EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL

For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction.

To determine if flood insurance is available in this community, contact your Insurance agent or call the National Flood Insurance Program at 1-800-638-6620.

MAP SCALE 1" = 500'

250 0 500 1000 FEET
150 0 150 300 METERS

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0317F

FIRM
FLOOD INSURANCE RATE MAP

for WESTCHESTER COUNTY, NEW YORK
(ALL JURISDICTIONS)

CONTAINS:

COMMUNITY	NUMBER
YONKERS, CITY OF	360936

PANEL 317 OF 426
MAP SUFFIX: F
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

Notice to User: The **Map Number** shown below should be used when placing map orders; the **Community Number** shown above should be used on insurance applications for the subject community.

MAP NUMBER
36119C0317F

EFFECTIVE DATE
SEPTEMBER 28, 2007

Federal Emergency Management Agency

FLOOD HAZARD INFORMATION IS NOT SHOWN ON THIS MAP IN AREAS OUTSIDE OF WESTCHESTER COUNTY

APPENDIX C
PHASE I ENVIRONMENTAL SITE ASSESSMENT

PHASE I

ENVIRONMENTAL

SITE ASSESSMENT

July 11, 2012

Site Identification: 7-17 Ludlow Street
City of Yonkers
Westchester County, New York

Tax Lot Identification: Section 1, Block 185, Lot 50

Property Description: Approximately 0.6-acre property containing two
vacant commercial buildings

ESI File: WY07054.10U2

Prepared By:



Ecosystems Strategies, Inc.

24 Davis Avenue, Poughkeepsie, NY 12603

phone 845.452.1658 | fax 845.485.7083 | ecosystemsstrategies.com



PHASE I

ENVIRONMENTAL

SITE ASSESSMENT

July 11, 2012

ESI File: WY07054.10U2

Prepared By:

**Ecosystems Strategies, Inc.
24 Davis Avenue
Poughkeepsie, New York 12603**

Prepared For:

**Westhab, Inc.
85 Executive Boulevard
Elmsford, New York 10423**

Phase I Environmental Site Assessment services performed by Ecosystems Strategies, Inc. have been conducted in accordance with ASTM Method E 1527-05.

The undersigned has reviewed this Phase I Environmental Site Assessment and certifies to Westhab, Inc. that the information provided in this document is accurate as of the date of issuance by this office.

A handwritten signature in black ink, appearing to read "Paul H. Ciminello".

Paul H. Ciminello
President



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1.0 SUMMARY

Ecosystems Strategies, Inc. (ESI) has performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E 1527-05 of the property located at 7-17 Ludlow Street, City of Yonkers, Westchester County, New York.

ESI's findings, opinions, conclusions, and recommendations (if any) are summarized below.

Findings and Opinions

The subject property consists of the approximately 0.6-acre parcel located at 7-17 Ludlow Street, City of Yonkers, Westchester County, New York (identified as City of Yonkers tax lot parcels: Section 1, Block 185, Lots 50 and 52) and is located in an urban area comprised primarily of multi-family residential and commercial properties. The property contains paved areas and two vacant former commercial buildings.

The subject property is likely to have been used for commercial purposes from prior to 1942 until circa 2004, including on-site automotive repair and the presence of a taxi facility. Subsurface investigations performed at the site have documented the absence of contamination beneath the structures and at the location a former structure at the southwestern portion of the site. Soil and groundwater contaminated with petroleum is present in the central portion of the property at the location of a former 4,000-gallon UST and extending to the west.

Free product was measured on the Site at monitoring wells MW-C and 2MW-1. The respective thicknesses of product were 2 and 1.1 inches and confirm previous reports suggesting recoverable levels of product. Groundwater quality data document the presence of dissolved petroleum hydrocarbons at levels exceeding groundwater protection standards over the southwestern portion of the Site. No contaminants other than gasoline constituents were detected in the on-Site groundwater or soil at concentrations that warrant response work. Remedial efforts at this Site are restricted to the removal/treatment of petroleum hydrocarbons.

Conclusions and Recommendations

This assessment has revealed no evidence of recognized environmental conditions (RECs) in connection with the property except for the following: petroleum contaminated soil and groundwater in the central and western portions of the property. These site conditions are associated with an active NYSDEC spill (#1010142).

1. The subject property is likely to have been used for commercial purposes from prior to 1942 until circa 2004, including on-site automotive repair and the presence of a taxi facility. At least one floor drain was observed in a former repair area. These historical activities may have potentially impacted subsurface media. An investigation of the subsurface in the southwestern portions of the subject property at the location of a former on-site structure revealed the absence of regulated material in the subsurface.

No further investigation is recommended.

2. During previously performed fieldwork (see section 5.4.4 above), a monitoring well containing free product was found in the central portion of the property. Soil borings extended in the vicinity of the monitoring well documented the presence of petroleum contaminated soil at depths between 4 and 12'. Soil borings extended in the central and western portions of the site documented the presence of petroleum contaminated soils at the groundwater interface (between 7' and 12' bsg). It is considered likely that the petroleum contaminated soils in the vicinity of the central monitoring well are contaminating on-site groundwater. A spill event was reported to the NYSDEC and Spill Number 1010142 has been issued for the site.



It is recommended that contaminated soils in the vicinity of the central monitoring well be excavated and properly disposed of off-site. At this time it is estimated that 300-500 cubic yards of such material is present on-site. It is further recommended that the results of confirmatory endpoint sampling, documenting the integrity of remaining soils, be submitted to the NYSDEC. Finally, it is recommended that additional groundwater monitoring wells be installed to document the extent of dissolved VOC contamination on (and possibly off) the Site.

3. A 275-gallon fuel oil aboveground storage tank (AST) is located in a concrete vault in the utility room of the two-story structure. This tank appeared to be in sound condition and no evidence of a significant release or an impending threat of a release was observed during the site inspection (minor staining, from filling activities, was noted during the site inspection). Future releases from this tank, however, could impact the subject property.

It is recommended that all PBS tanks be periodically inspected and managed in accordance with applicable state and local regulations.

4. Lead-based paint could potentially be present on the subject property. Painted surfaces on the interior and exterior of both structures were observed to be in poor condition during the site inspection.

No further investigation is recommended. Any suspect material encountered during maintenance, renovation, or demolition activities should be tested for lead, or, in the absence of analytical data, be treated as though it contained lead. All maintenance, renovation, or demolition activities should be conducted in accordance with applicable regulations.

5. An asbestos survey of the property was performed by S&B Environmental LLC, on 28, April 2011 and an Asbestos Bulk Sampling Report, dated May 4, 2011 was prepared. No asbestos was found except in the roofing material of one of the buildings and was presumed to be present in the roofing material of the other building.

The S & B Asbestos Bulk Sampling Report recommended that the roofing materials be removed by a licensed contractor prior to the demolition of these buildings.

6. Scattered trash is located throughout the property. None of these debris materials were judged by this office to pose a threat to the environmental integrity of the subject property.

It is recommended that debris materials be segregated into appropriate waste streams (i.e., those which can be disposed of as non-regulated solid waste and those which require special handling) and be disposed of off-site. Any regulated wastes encountered in on-site debris (e.g., construction and demolition debris) should be managed in accordance with applicable local, state and federal regulations, including as necessary, sampling and analysis of materials for asbestos and leachable concentrations of lead.



2.0 INTRODUCTION

2.1 Purpose

This Phase I Environmental Site Assessment (Phase I ESA) has been prepared in conformance with guidelines set forth by the American Society for Testing and Materials (ASTM) Method E1527-05, and identifies recognized environmental conditions (RECs) and/or other significant environmental liabilities resulting from or associated with the storage, use, transport, or disposal of hazardous or regulated materials on the property located at 7-17 Ludlow Street, City of Yonkers, Westchester County, New York (a description of the property is presented in Section 3.0).

2.2 Detailed Scope of Services

The Scope of Services for this Phase I ESA is as follows:

Task 1: Description of Subject Property and Surrounding Area

Description of subject property and surrounding area physical settings, including property location, topography, geology/hydrogeology, surface hydrology and sensitive environmental receptors (e.g., wetlands), and identification of adjoining properties and a description of the surrounding area.

Task 2: Review of User Reported Information

Review of data reported as per Section 6 of ASTM Practice E1527-05, which requires that the User (the party seeking to complete the environmental site assessment of the property) provide specific information to the Environmental Professional in order to meet the requirements for "all appropriate inquiry", including knowledge of environmental conditions or concerns, known site history, reason for performing the Phase I investigation, and details of other relevant conditions.

Task 3: Records Review

Review of standard environmental record sources and (as warranted) additional environmental record sources, physical settings sources, and applicable, reasonably ascertainable historical use information for the subject property and adjoining properties, including records from federal and state regulatory agencies and municipal sources, historic maps and plans, aerial photographs, and review of User and/or property owner provided documents and/or analytical results.

Task 4: Site Reconnaissance

Physical inspection of the subject property (both interior and exterior areas) and accessible surrounding areas in order to obtain information useful in identifying recognized environmental conditions in connection with the property and to identify current and past uses and conditions.

Task 5: Interviews

Interviews with owners, site managers, occupants, local government officials, and other interested parties, as warranted, to obtain information indicating recognized environmental conditions in connection with the property or other relevant environmental conditions.

Task 6: Report Preparation and Summary of Findings, Opinions, and Conclusions

Preparation of a written report: 1) summarizing information reported by the User and other knowledgeable individuals, and relevant findings from the above tasks (including documentation); 2) presenting the Environmental Professional's opinions and conclusions (including the supporting rationale, the significance of any data gaps, and recommendations regarding any warranted additional investigation); 3) listing all deletions, deviations and additions to the ASTM E1527-05 Phase I practice; and 4) identifying the environmental professional and the person(s) who conducted the site reconnaissance, including the environmental professional's signature, statement of and qualifications, and supporting documentation.



2.3 Significant Assumptions

Terminology

The term Recognized Environmental Condition (REC) is defined as follows:

The presence or likely presence of any hazardous substances or petroleum products on a property under conditions that indicate (1) an existing release, (2) a past release, or (3) a material threat of a release of any hazardous substances or petroleum products into structures on the property or into the ground, ground water, or surface water of the property. Material threat means a physically observable or obvious threat that is reasonably likely to lead to a release that is threatening and might result in impact to public health or the environment.

The term includes hazardous substances or petroleum products even under conditions in compliance with laws, but is not intended to include *de minimis* conditions that generally do not present a threat to human health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies.

Assumptions Regarding the Direction of Groundwater Flow

Depth to groundwater measurements and groundwater flow calculations were completed as part of an ESI Supplementary Phase II Investigation, dated June 2011 (see Section 5.4.4 below). Groundwater was measured at a depths between 7' and 8' below surface grade and flows in a westerly direction.

2.4 Limitations and Exceptions

This Phase I ESA is an evaluation of the property described in Section 3.0 is not valid for any other property or location. It is a representation of the property analyzed as of the dates that services were provided. This Phase I ESA cannot be held accountable for activities or events resulting in environmental liability after the respective dates of the site inspection or historic and regulatory research.

This Phase I ESA is based in part on certain information provided in writing or verbally by federal, state and local officials (including public records) and other parties referenced herein. The accuracy or completeness of this information was not independently verified. Unless specifically noted, the findings and conclusions contained herein must be considered not as scientific certainties, but as probabilities based on professional judgement.

2.5 Special Terms and Conditions

No special terms or conditions are associated with the preparation of this Phase I ESA.

2.6 User Reliance

This Phase I ESA was performed by an environmental professional, following the requirements for "all appropriate inquiry" as defined in 40 CFR Part 312, meets the requirements specified in ASTM Practice E1527-05 for performance of a Phase I Environmental Site Assessment, and may be relied upon by the User for a period of 180 days from its completion, or until information is obtained by the User, or is provided to the User by ESI, which may materially alter a significant finding, conclusion or opinion in this report.



3.0 SITE DESCRIPTION

3.1 Location and Legal Description

The subject property as defined in this Phase I ESA consists of the approximately 0.6-acre property located at 7-17 Ludlow Street, City of Yonkers, Westchester County, New York (identified as City of Yonkers tax lot parcels: Section 1, Block 185, Lots 50 and 52). A site location map, showing the property and the surrounding area, is provided in Appendix A, a map illustrating the layout of the property is provided in Appendix B as the Selected Site Features Map, and photographs of the property are provided in Appendix C.

3.2 Site and Vicinity General Characteristics

The property is an approximately a rectangular shaped parcel located on the northern side of Ludlow Street. Two vacant buildings are located on the northern portion of the property. The remainder of the property is composed of a maintained a yard and a paved parking area.

3.2.1 Site Topography

Information on the subject property's topography was obtained from the review of the United States Geological Survey Topographic Map of the Yonkers, New York Quadrangle (a copy of the relevant portion of this map, with the subject property indicated, is provided in Appendix A). According to the Topographic Map, the property is located in an area of varied relief with somewhat gentle downward slopes to the west, towards the Hudson River, and the property has surface elevations ranging from approximately 90 to 100 feet above mean sea level. Field observations indicate that the property slopes slightly downward from east to west.

The topographic map did not indicate the presence of any soil/gravel mining operations or unusual topographic patterns indicative of landfilling activities on the subject property. No on-site structures are depicted on the topographic map (the property is located in an urban area where only selected landmark buildings are depicted).

3.2.2 Site Geology

A review of the Geologic Map of New York and the Surficial Geologic Map of New York (lower Hudson sheets) indicates that soils on the subject property are likely to consist of glacial till deposits, overlying gneiss. The USDA NRCS Soil Survey of Putnam and Westchester Counties, New York (Soil Survey) indicates that the Urban Land (0-8% slopes) map unit is likely to be located on the property. The Urban Land designation is provided for areas where at least 60% of the surface is covered by buildings, parking areas or other impervious structures, and specific soil and bedrock characteristics are generally not well known. The presence of on-site structures suggests that soils located on the property may have been altered by cutting, regrading and/or filling activities.

No bedrock was observed on the property.

A Combined Phase I & Phase II issued in December 2011 (see Section 5.4.4, Previous Environmental Reports) documented subsurface soils encountered during the extension of the soil borings generally consisted of fill above fine light brown sands. Petroleum odors and staining were observed at borings B-1, B-8, and B-11 between 4 and 12 feet bsg.

Subsurface soils exposed during the extension of test pits at the western portion of the subject property in May 2012 (see Section 4.0) were noted to consist of light brown sandy soils containing brick, stone and concrete fragments.



No other information regarding site-specific investigations of the subsurface (e.g., test pits or borings) was found in readily available records or was provided by subject property representatives.

3.2.3 Site Hydrogeology

Information regarding on-site surface hydrology was obtained from the review of applicable maps, including the New York State Department of Environmental Conservation (NYSDEC) Freshwater Information regarding on-site surface hydrology was obtained from the review of applicable maps, including the New York State Department of Environmental Conservation (NYSDEC) Freshwater Wetlands Map and the United States Department of the Interior National Wetlands Inventory Map, and from observations made during the site inspection. According to these sources, there are no surface water bodies, wet areas, or regulated wetlands on or near the property.

3.2.4 Surface Hydrology and Wetlands

Information regarding on-site surface hydrology was obtained from the review of applicable maps, including the New York State Department of Environmental Conservation (NYSDEC) Freshwater Wetlands Map and the United States Department of the Interior National Wetlands Inventory Map, and from observations made during the site inspection. According to these sources, there are no surface waterbodies, wet areas, or regulated wetlands on or near the property.

Flood Plains

According to the National Flood Insurance Program Flood Insurance Rate Map (FIRM) for the City of Yonkers, Westchester County, New York, community-panel number 36119C0309F, the subject property is not located in a 100-year flood plain.

Coastal Zone

According to the New York State (NYS) Department of State, Division of Coastal Resources, online NYS Coastal Area Map for the Yonkers New York Quadrangle, the subject property is not located in a coastal zone.

Coastal Barrier Resources

According to the United States Fish and Wildlife Service, online Maps of Coastal Barrier Resources System, the subject property is not located in a coastal barrier resources area.

Sole Source Aquifer

According to the United States Environmental Protection Agency (USEPA) Sole Source Aquifer Map, the subject property is not located in the vicinity of a designated Sole Source Aquifer. In addition, proposed use of the property will likely utilize municipal water systems.

3.2.5 Proximity to Sites of Explosives and/or Flammable Materials

No sites containing explosives and/or flammable materials were identified within the vicinity of the subject property.

3.2.6 Significant Habitats

A review of the NYSDEC Environmental Resource Mapper was performed on June 11, 2012 to search any significant habitats on or near the subject property. No significant habitats are present on or near the property.



3.2.7 Sensitive Environmental Receptors

Sensitive Environmental Receptors (SERs) are valued physical, biological, and/or man-made features that may be adversely impacted by environmental contamination, and where a discharge or release could pose a greater threat than a discharge or release to other less valued areas. SERs include (but are not limited to) potable supply wells, wetlands, and protected wildlife habitat.

Four monitoring wells were noted on the subject property during the site inspection. One monitoring well, located in the central portion of the subject property, was noted to contain approximately 18" of free product (likely to be weathered gasoline). A monitoring well near the western property line was dry, and no field evidence of contamination (i.e. petroleum odors or positive PID readings) was encountered at the other two monitoring wells.

3.3 Current Use of the Property

The property is currently vacant.

3.4 Descriptions of Structures, Roads, and Other Improvements

The northeastern on-site building is a vacant two-story masonry structure with no basement and a flat roof. Exterior siding is concrete block and the roof is likely to be covered by asphaltic materials (note: the roof was not accessible during the site inspection). City of Yonkers Assessor's Office records indicate that the building dates from 1924. The building is a former garage that contains an automotive repair area and utility room on the bottom floor and office areas on the second floor. Walls and ceilings are generally covered with plaster and/or gypsum wallboard.

The north-central building is a vacant one-story masonry structure with no basement and a flat roof. Exterior siding is concrete block and the roof is likely to be covered by asphaltic materials (note: the roof was not accessible during the site inspection). City of Yonkers Assessor's Office records indicate that the building dates from 1924. The building is a former garage that contains an automotive repair area at the back of the building and office areas at the front.

3.5 Current Uses of Adjoining Properties

The subject property is located in an urban area comprised primarily of single-family multi-family residential properties. A description of the adjoining and nearby properties is provided in Table 1, below.

Table 1: Land Uses in the Vicinity of the Subject Property

Direction	Adjoining Use(s)	Vicinity Use(s)
North	<ul style="list-style-type: none"> residential commercial 	<ul style="list-style-type: none"> residential commercial
East	<ul style="list-style-type: none"> residential commercial 	<ul style="list-style-type: none"> residential commercial
South	<ul style="list-style-type: none"> residential Tip Top Management 	<ul style="list-style-type: none"> residential commercial
West	<ul style="list-style-type: none"> Bethany African Methodist Episcopalian Church 	<ul style="list-style-type: none"> residential commercial



4.0 USER-REPORTED INFORMATION

ASTM Practice E 1527-05, Section 6, describes tasks to be performed by the user that will help identify the possibility of recognized environmental conditions in connection with the property, and are necessary to meet the requirements for “all appropriate inquiry”. Mr. Jeff Chu, representing Westhab (the User), has responded to a questionnaire provided by ESI, designed to gather information that may be material to identifying recognized environmental conditions and other potential environmental liabilities associated with the subject property. A copy of the questionnaire is provided in Appendix F.

4.1 Title Records

Mr. Chu did not provide chain-of-title information for review by this office.

4.2 Environmental Liens or Activity and Use Limitations

Mr. Chu stated that Westhab was not aware of any environmental liens or activity and use limitations (AULs) associated with the property.

4.3 Specialized Knowledge

Mr. Chu stated that Westhab had no specialized knowledge or experience, or actual knowledge, that was relevant to identifying recognized environmental conditions and/or other potential environmental liabilities associated with the subject property.

4.4 Commonly Known or Reasonably Ascertainable Information

Mr. Chu stated that Westhab knew of no commonly known or reasonably ascertainable information that was relevant to identifying recognized environmental conditions and/or other potential environmental liabilities associated with the subject property.

4.5 Valuation Reduction for Environmental Issues

Mr. Chu stated that Westhab knew of no reasons for a purchase price that does not reasonably reflect fair market value because of recognized environmental conditions, known or suspected contamination, or other environmental liabilities associated with the subject property.

4.6 Owner, Property Manager, and Occupant Information

Mr. Chu stated that the property is owned and operated by tWesthab. The property is vacant and has no tenants.

4.7 Reason for Performing the Phase I Investigation

Mr. Chu stated that the Westhab wanted to have the Phase I Environmental Site Assessment performed in order to qualify for one or more Landowner Liability Protections (LLPs) to CERCLA liability and to document potential environmental liabilities on the subject property.

4.8 Other User Reported Information

Except as indicated in Sections 4.1 to 4.6, above, Mr. Chu did not report any other significant information relevant to identifying recognized environmental conditions and/or other potential environmental liabilities associated with the subject property.



5.0 RECORDS REVIEW

5.1 Standard Environmental Records Sources

5.1.1 Methodology

Federal and state computer databases/records were reviewed for documentation of RECs and/or other environmental liabilities relevant to the property (see Section 5.1.2, below). The following ASTM Standard Environmental Record Sources (as available for the subject property's locality) were reviewed (search distances are consistent with, or exceed, ASTM requirements).

Federal National Priority List (1.0 mile) and delisted National Priority List sites (0.5 mile)
Federal CERCLIS list and CERCLIS NFRAP site list (0.5 mile)
Federal RCRA CORRACTS facilities list (1.0 mile)
Federal RCRA non-CORRACTS TSD facilities list (0.5 mile)
Federal RCRA generators list (subject/adjoining properties)
Federal ERNS list (subject property)
Federal, State, and Tribal Institutional Control / Engineering Control registries (subject property)
State- and Tribal-equivalent NPL (1.0 mile)
State- and Tribal-equivalent CERCLIS (0.5 mile)
State and Tribal Brownfield and voluntary cleanup sites (0.5 mile)
State and Tribal leaking storage tank lists (0.25)*
State (including locally administered) and Tribal registered storage tank lists (subject/adjoining)
State and Tribal landfill and/or solid waste disposal site lists (0.5 mile)

* *The search distance for this ASTM database has been reduced due to the high level of development of the area in which the subject property is located.*

The following Additional Environmental Record Sources (as available for the subject property's locality) were reviewed in order to enhance and supplement the review of standard sources:

State spill file records (0.25 mile)
State MOSF list (0.5 mile)
State radon data (by local municipality as available)
Federal and State wastewater discharge permits (subject/adjoining properties)

A copy of relevant portions of a database search conducted by Environmental FirstSearch Corporation for ESI is provided in Appendix E. Not all of the sites contained in the attached database search may be referenced in Section 5.1.2. Some sites may have been excluded based on either ASTM requirements, ESI's scope of services or professional opinion, and/or information obtained during the review of historic records and the site inspection, and some information may have been deemed to not be practically reviewable (e.g., records lack adequate address information). Sites or additional information not included in the database search may also be referenced based on ESI's knowledge of the subject property area.

5.1.2 Findings of Regulatory Records Review

Federal Hazardous Waste-Contaminated Sites

The subject property is not identified on the United States Environmental Protection Agency's (USEPA) National Priority List (NPL) of uncontrolled or abandoned hazardous waste sites identified for priority remedial actions. No NPL sites are located within one mile of the property and no delisted NPL sites are located within a half mile of the property.



The subject property is not identified on the USEPA's CERCLIS list of sites that are proposed to the NPL or that are in the screening and assessment phase for possible proposal to the NPL. No CERCLIS sites are located within a half mile of the property.

The subject property is not identified on the USEPA's CERCLIS No Further Remedial Action Planned (NFRAP) list, which are former CERCLIS sites that were delisted because no significant hazardous waste contamination was found, or because the site has been remediated. No CERCLIS NFRAP sites are located within a half mile of the property.

The subject property is not identified on readily available USEPA Institutional Control/Engineering Control registries.

State Sites

Inactive Hazardous Waste Disposal Sites

The subject property is not identified on the NYSDEC's registry of Inactive Hazardous Waste Disposal (IHWD) sites (a state equivalent to the federal NPL), and has not been listed as a site under investigation for inclusion in the IHWDs registry (a state equivalent to the federal CERCLIS List). No NYSDEC IHWD sites are located within 1.0 mile of the property.

Voluntary Cleanup, Brownfields Cleanup, and Environmental Restoration Programs

The subject property is not identified as participating in the NYSDEC's Voluntary Cleanup (VCP), Brownfields Cleanup (BCP), or Environmental Restoration (ERP) programs, which are designed to provide NYSDEC oversight of significantly contaminated properties.

The FirstSearch review indicates that the "185-187 Riverdale Ave" site (NYSDEC ID: C30074), located approximately 0.3 mile northwest of the subject property at 185 Riverdale Avenue, is a BCP site. Groundwater and soil contamination by hydrocarbons and metals is known to have occurred on the property.

The FirstSearch review also indicates that the "Con Edison-Ludlow Street Works-Yonkers MGP" site (NYSDEC ID: V00562), located approximately 0.3 mile northwest of the subject property on Knowles Street, is a VCP site. No specific information regarding the status of environmental conditions at this property is reported in the readily available database information.

Based on ESI's review of reported information (distance and direction to the sites, presumed direction of groundwater flow, etc.), these sites are not likely to impact the subject property.

Registry of Institutional and Engineering Controls in New York State

The subject property is not identified on the NYSDEC's Registry of Institutional and Engineering Controls in New York State.

Federal Hazardous Waste Handlers

The USEPA Resource Conservation and Recovery Information System (RCRIS) database details facilities that report treatment, storage or disposal of hazardous waste (TSD facilities) or generation or transportation of hazardous waste. Facilities that have been notified by the USEPA to take corrective action with regard to their handling of hazardous waste are classified as CORRACTS facilities.



CORRACTS AND/OR TSD FACILITIES

The subject property is not registered with the USEPA as a CORRACTS and/or TSD facility for hazardous waste or materials, and no CORRACTS and/or TSD facilities are located within one mile of the property.

GENERATORS OR TRANSPORTERS (NON-CORRACTS)

The subject property is not registered with the USEPA as a generator or transporter of hazardous waste, and no generators or transporters of hazardous waste are located on adjoining properties. However, the "Deva Leasing Corp" site (USEPA ID#: NYR000012443), which was formerly located on the subject property, is listed as a no longer regulated generator of ignitable waste. No adjoining properties are noted on the RCRIS database.

Landfills and Solid Waste Disposal Facilities

The NYSDEC's Facility Register does not list the subject property as an active or inactive landfill or solid waste disposal facility, and no landfills or solid waste disposal facilities are located within a half mile of the property.

Chemical Bulk Storage

A review of NYSDEC records indicates that the subject property is not registered as a chemical bulk storage (CBS) facility. Observations made during the site inspection did not indicate the presence of chemical bulk storage on the subject property. No adjoining properties are registered with the NYSDEC as CBS facilities.

Petroleum Bulk Storage

The Westchester County Department of Health (WCDOH) is a designated administrator of the NYSDEC petroleum bulk storage (PBS) program and WCDOH maintains the current database of PBS facilities within Westchester County. PBS database searches conducted by FirstSearch Technology include the WCDOH database and older PBS records maintained by the NYSDEC prior to WCDOH administration of the program.

SUBJECT PROPERTY

A review of the NYSDEC and WCDOH PBS databases indicates that the subject property is a formerly registered PBS facility (PBS ID: 3-801293). Observations made during the site inspection indicated the presence of a 275-gallon aboveground storage tank (AST) located in a concrete vault in a utility room in the two-story on-site structure. This tank appeared to be in sound condition. Minor staining indicative of sloppy housekeeping during filling activities was noted on and around the tank.

According to Building Department records, a 4,000-gallon gasoline UST was removed from the property in 2006.

Local and Federal PBS Regulations

WCDOH petroleum bulk storage regulations apply to facilities with a combined storage capacity greater than 1,100 gallons (storage capacity excludes tanks of 1,100 gallons or less used to store oil or kerosene for on-site heating, and includes out-of-service regulated tanks that have not been permanently closed), and federal regulations (40 CFR, Part 112) apply to all facilities storing greater than 42,000 gallons of petroleum product underground or 1,320 gallons aboveground. Based on



the known capacity and use of the current on-site tank, the property is not subject to either of these County or Federal PBS regulations.

Based on the known capacity of the former on-site tank (4,000-gallons underground), the property is subject to these County or Federal PBS regulations.

ADJOINING PROPERTIES

A review of the NYSDEC and WCDOH PBS databases indicates that the property at 26 Highland Avenue, which adjoins the subject property to the north, is a PBS facility (PBS Number: W3-800426). This facility has an active PBS tank with a capacity greater than 1,100-gallons. No open NYSDEC spill events are reported for this adjoining property. Fill ports and vent pipes were observed at several adjoining residential properties. These fill ports and vent pipes are likely to service ASTs located in the basements of these structures. Residential ASTs containing home heating oil have a typical storage capacity well below the 1,100-gallon threshold for registration as a PBS facility and, therefore, would not appear in the NYSDEC PBS database. These adjoining sites are not likely to impact the environmental integrity of the subject property.

Major Oil Storage Facilities

The subject property is not listed with the NYSDEC as a major oil storage facility (MOSF). The "Refined Sugars, Inc." site (NYSDEC ID: MOS3-2320), located approximately 0.5 mile northwest of the subject property at 1 Federal Street, is a MOSF.

Based on ESI's review of reported information (distance and direction to the site, type of regulated materials, etc.), this site is not likely to impact the subject property.

Federal Chemical and Petroleum Spills

The USEPA Emergency Response Notification System (ERNS) database details initial reports of releases of oil and hazardous substances as reported to federal authorities. There are currently no chemical or petroleum spills on record for the subject property.

State Chemical and Petroleum Spill and Leaking Underground Storage Tank Events

A review of the NYSDEC spill database (maintained since 1986) indicates that three spill events are known to have occurred on the subject property.

Spill number 0508586 was reported in October 2005 as the result of the discovery of holes in a 4,000-gallon gasoline tank being removed from the property. Contaminated soil was removed and groundwater samples did not indicate significant levels of contamination (see Section 3.1.6 above). This spill was closed in March, 2007.

Spill number 0412184 was reported in February 2005 as the result of contamination found in soil borings conducted in the area of a 4,000-gallon underground storage tank (UST). This spill is related to spill number 0508586 above and was closed on May 4, 2007.

Spill number 9505134 was reported on July 27, 1995 as the result of an overflow of gasoline by a tank truck during delivery. This spill was closed on July 31, 1995, suggesting that it was likely to have been contained to the pavement and cleaned up immediately.

Available information indicates that eighteen other spill events are known to have occurred within a quarter mile of the subject property (seventeen of these spills are classified as leaking underground storage tank [LUST] events). Based on a review of the materials spilled, intervening distances between the releases and the subject property, the presumed direction of groundwater flow and



other information located in the records reviewed, it is unlikely that these spill events have impacted the subject property.

Air Discharges

No NYSDEC permits for air discharges from the subject property are known to exist. No operations likely to require a NYSDEC air discharge permit were noted on the subject property.

Wastewater Discharges

No USEPA National or NYSDEC State Pollutant Discharge Elimination System (NPDES or SPDES) permit is known to exist for the subject property. No operations likely to require a NPDES or SPDES permit were noted on the subject property. According to municipal records, the subject property is connected to the municipal wastewater system. No adjoining properties are registered as NPDES or SPDES facilities.

Radon

Information on radon levels was obtained from New York State Department of Health (NYSDOH) documents. No regulatory standards for radon levels currently exist in New York State. The USEPA has established a guidance value (the level where mitigation measures may be appropriate) for radon concentrations of 4.0 or greater picoCuries/liter (pCi/l). Other regulatory authorities (e.g., OSHA) have established guidance levels that are directly related to specific site activities (a determination as to applicable radon guidance levels is beyond the scope of this Phase I Environmental Site Assessment). A summary of available radon information for the subject property's vicinity is provided below in Table 3.

Table 2: Basement Radon Levels in Vicinity of Subject Property

All radon levels provided in picoCuries/liter (pCi/l)

NYSDOH Radon Information	Westchester County	City of Yonkers
Number of Homes Tested	2141	129
Median Radon Level	1.9	1.3
Percent of Homes >4.0 pCi/l	17.4	14.0

These median radon levels are below the USEPA's guidance value of 4.0 pCi/l and less than 20% of the homes tested in the subject property's vicinity had levels in excess of this guidance value. These data support the conclusion that elevated radon levels are not likely to be present on the subject property.

5.2 Additional Environmental Records Sources

A request was made on June 1, 2012 to search the available City of Yonkers Fire Department records for information regarding the presence or absence of regulated PBS tanks on the property. No response from this agency has been received by this office as of the date of this Phase I ESA.



5.3 Physical Settings Sources

The following current physical settings sources depicting the subject property's location were reviewed: USGS 7.5 minute Topographic Map, USDI National Wetlands Map, and the NYSDEC Freshwater Wetlands Map. No information suggesting the potential presence of recognized environmental conditions on the property was found during this review. Information from these maps regarding specific property characteristics is presented in Section 3.2.

5.4 Historical Use Information on the Property

Historical sources are researched to develop a history of the previous uses of the property (and surrounding area) in order to identify the likelihood of past uses having led to recognized environmental conditions in connection with the property. ASTM practice E1527-05 requires that all obvious uses of the property be identified from the present, back to the property's first developed use, or back to 1940, whichever is earlier. This task requires reviewing only as many of the standard historical sources as are necessary and both reasonably ascertainable and likely to be useful. Historical site use was documented by reviewing historic maps (Section 5.4.1) and local records (Sections 5.4.2 and 5.4.3).

5.4.1 Sanborn Fire Insurance Maps

A summary of the information obtained from the review of historic Sanborn Fire Insurance Company Maps dated 1898, 1917, 1942, 1951, 1956, 1957, 1971, 1973, 1978, 1989 and 1991 is provided below. Copies of relevant Sanborn maps (with the subject property indicated) are provided in Appendix D.

1898: The subject property contains three, two-story dwellings on the southern portion of the property.

1917: A small storage structure is now located on the north-central portion of the subject property.

1942: This map is an overview map, making details difficult to distinguish. The subject property now contains a garage on the northeastern portion along with a new structure, likely to be a garage, located on the northwestern portion.

1951-

1956: The dwelling located on the south-central portion of the subject property is now a funeral home, the structure located on the northeastern portion is an automobile repair facility and the structure on the northwestern portion is an automobile garage.

1957: There are no significant changes to the subject property.

1971: There are no significant changes to the subject property.

1973: The dwelling, formerly located on the southeastern portion of the subject property is now gone and the on-site structure formerly containing a funeral home, now contains a restaurant.

1978: Both dwellings formerly located on the central portion of the property are now gone. There are no other significant changes to the subject property.



1989-

1991: The dwelling formerly located on the southwestern portion of the subject property is now gone and the southern portion now contains a parking lot.

5.4.2 Assessor's Office Records

City of Yonkers Assessor's Office property card records for the subject property were reviewed. According to notations made on the property card, the structures located on the subject property were built in 1924 and are unheated. No other information pertinent to the environmental integrity of the subject property was present in these records. A summary of the readily available property ownership information is provided in Table 2.

5.4.3 Building Department Records

City of Yonkers Building Department records for the subject property were reviewed. Included in the files provided for review were permits for the removal of a 4,000-gallon UST dated (August 2005), an addition to a garage, dated (June 1989), the installation of a fence, dated (February 1989), the construction of a new building, dated (April 2006) and a certificate of occupancy (C.O.) from 1976 for an automotive repair facility. No other information pertinent to the environmental integrity of the subject property was present in Building Department records provided for review.

5.4.4 Previous Environmental Reports

A Phase I Environmental Site Assessment (Phase I ESA) was prepared for the subject property by ESI in May 2007; relevant information from this document is cited in this Phase I Update as appropriate.

The Phase I ESA found that the subject property is likely to have been used for commercial purposes from prior to 1942 until circa 2004, including on-site automotive repair and the presence of a taxi facility. At least one floor drain was observed in a former repair area. The Phase I ESA concluded that these historical activities may have potentially impacted subsurface media beneath the on-site structures.

In addition, closed NYSDEC spill numbers 0508586 and 0412184 were reported for the subject property when an on-site 4,000-gallon gasoline underground storage tank (UST) was found to be leaking. The tank and surrounding petroleum contaminated soil were removed and confirmatory endpoint and groundwater sampling did not indicate any remaining gross contamination or significant levels of residual hydrocarbons (groundwater is somewhat impacted, but not at levels considered significant by the WCDOH). The Phase I ESA concluded that potential impacts from the historic use of the tank might not have not been fully addressed by remediation efforts completed to date.

A Combined Phase I/II Environmental Site Assessment (Phase I/II ESA) was prepared for the subject property by ESI in June 2011; relevant information from this document is cited in this Phase I Update as appropriate.

The Phase I/II ESA concluded that debris from the demolition of former on-site structures may be present in the subsurface (such debris could contain lead based paint, asbestos, or other regulated materials) and recommended that any future development activities at the property should be conducted with an awareness of the potential presence of subsurface debris and provision should be made for the proper management of any materials that warrant special handling.

During fieldwork, a monitoring well containing free product was found in the central portion



of the property. Soil borings extended in the vicinity of the monitoring well documented the presence of petroleum contaminated soil at depths between 4 and 12'. Soil borings extended in the central and western portions of the site documented the presence of petroleum contaminated soils at the groundwater interface (between 7' and 12' bsg). The Phase I/II ESA considered it likely that the petroleum contaminated soils in the vicinity of the central monitoring well are contaminating on-site groundwater. A spill event was reported to the NYSDEC and Spill Number 1010142 issued for the site.

The Phase I/II ESA recommended that contaminated soils in the vicinity of the central monitoring well be excavated and properly disposed of off-site. It was estimated that 300-500 cubic yards of such material is present on-site. The Phase I/II ESA further recommended that the results of confirmatory endpoint sampling, documenting the integrity of remaining soils, be submitted to the NYSDEC and that additional groundwater monitoring wells be installed to document the extent of dissolved VOC contamination on (and possibly off) the Site.

No investigation could be performed within the on-site structures because of the presence of debris.

A Supplementary Phase II Environmental Site Assessment (Supplementary Phase II ESA) was prepared for the subject property by ESI in June 2011; relevant information from this document is cited in this Phase I Update as appropriate.

The Supplementary Phase II ESA was performed a) to investigate the subsurface beneath the two on-site structures that had previously been inaccessible because of the presence of debris and b) to document the integrity of on-site groundwater.

No field evidence of petroleum contamination was encountered in soil borings extended inside the former automotive repair structures. Laboratory data also documents the absence of contamination in samples collected from within these two structures.

Free product was measured on the Site at MW-C and 2MW-1. The respective thicknesses were 2 and 1.1 inches and confirm previous reports suggesting recoverable levels of product.

Groundwater quality data documented the presence of dissolved petroleum hydrocarbons at levels exceeding groundwater protection standards over the southwestern portion of the Site. No contaminants other than gasoline constituents were detected in the on-Site groundwater or soil at concentrations that warrant response work. The Supplementary Phase II ESA concluded that remedial efforts at this Site would be restricted to the removal/treatment of petroleum hydrocarbons.

5.5 Historical Use Information on Adjoining Properties

Information regarding past uses of adjoining properties and the surrounding area, as indicated on Sanborn Maps (see Section 5.4.1, above), is provided below.

Sanborn Fire Insurance Maps

A summary of the information obtained from the review of historic Sanborn Fire Insurance Company Maps dated 1898, 1917, 1942, 1951, 1956, 1957, 1971, 1973, 1978, 1989 and 1991 is provided below. Copies of relevant Sanborn maps (with the subject property indicated) are provided in Appendix D.



- 1898: The adjoining properties to the south, west and north each contain a residential structure with associated outbuildings. The adjoining properties to the east contain residential structures. The surrounding area is developed with residential and commercial uses. Municipal water is depicted as being available to the property. No petroleum or chemical bulk storage tanks are noted on the subject property, adjoining properties, or in the surrounding area.
- 1917: The adjoining properties to the north contain additional residential structures along with two stores. The surrounding area shows additional residential and commercial development.
- 1942: This map is an overview map, making details difficult to distinguish. The adjoining properties to the south now contain residential and commercial structures. The surrounding area is highly developed with residential and commercial uses.
- 1951-
1956: The adjoining properties to the east now contain mixed-use structures containing both residential and commercial uses.
- 1957: An adjoining property to the south now contains an automobile repair facility and a store.
- 1971: The adjoining property to the south that formerly contained an automobile repair facility now contains a screen printing facility.
- 1973: There are no adjoining properties, or the surrounding area.
- 1978: There are no adjoining properties, or the surrounding area.
- 1989-
1991: The adjoining property to the west and an adjoining property to the east are both now vacant.

5.6 Historical/Archeological Review of Site and Surrounding Area

A letter from the New York State office of Parks, Recreation and Historic Preservation, dated March 25, 2011 confirm that development of the site would have no impact on historical/archeological resources in the vicinity.



6.0 SITE RECONNAISSANCE

Richard Hooker of ESI observed the entirety of the subject property and surrounding area on May 9, 2012 (the site reconnaissance was planned by an Environmental Professional; see Sections 14.0 and 15.0).

6.1 Methodology and Limiting Conditions

The subject property is vacant and all areas were accessible. Adjoining properties were observed from the subject property and from adjoining public thoroughfares.

6.2 General Site Setting

6.2.1 Subject Property

The subject property is an approximately 0.5-acre rectangular-shaped parcel, which has 175 feet of frontage on the northern side of Ludlow Street and extends 160 feet to the north. A vacant, two-story commercial building occupies the northeastern portion of the property and a vacant, one-story commercial building occupies the north-central portion of the property. Four groundwater monitoring wells were noted on the subject property during the site inspection. The remainder of the property is composed of a paved parking area. Chain-link fences define the southern border; the remaining property lines are undefined.

6.2.2 Adjoining Properties

The adjoining property to the east is an apartment building and single-family residential buildings adjoin to the north and south, A church adjoins to the west. No evidence was observed of any current or former uses likely to be related to recognized environmental conditions.

6.3 Exterior Observations

Debris Areas

Approximately 100-150 cubic yards of construction and demolition debris consisting of plaster and wood is present throughout the structures. These materials prevented access to the interiors of the on-site structures.

Petroleum Storage

A 275-gallon fuel oil aboveground storage tank (AST) is located in a concrete vault in the utility room of the two-story structure. The fill port and vent pipe are located on the tank. This tank appeared to be sound. Minor staining, likely to be associated with sloppy housekeeping during filling activities, was noted on and around the tank. A small container of gasoline is also located in the utility room. No staining or other evidence of a release from these containers was noted. No other small quantities of petroleum products, aboveground storage tanks, or indications of underground petroleum bulk storage tanks (e.g., fill ports or vent pipes) were observed on the subject property.

Chemical Storage

No containers of chemicals, aboveground chemical bulk storage tanks, or indications of underground chemical bulk storage tanks (e.g., fill ports or vent pipes) were observed on the subject property.



Leaking Containers or Equipment

No leaking containers or equipment were observed on the subject property.

Wastewater Discharges

The term “wastewater” indicates water that: is or has been used in an industrial or manufacturing process; or is directly related to manufacturing, processing, or raw materials storage areas at an industrial plant; or conveys or has conveyed sewage (water originating on or passing through or adjacent to a site, such as stormwater flows, is not generally considered to be wastewater). No evidence of wastewater discharges into drains, ditches, or streams on or adjacent to the property was observed on the subject property.

Stormwater Management and Exterior Drains/Sumps/Conduits

No exterior stormwater catch basins, drains, sumps, or other potential significant conduits to the subsurface, or indications of liquid discharges into drains, ditches, or streams on or adjacent to the property, were observed on the subject property.

Staining/Corrosion/Leaks

No evidence of corrosion, leaks, or staining (indicative of an existing release, a past release, or a material threat of a release of any hazardous substances or petroleum products onto the subject property, including on-site structures and paved areas) was observed during the site inspection.

Topographic Irregularities

Eleven test pits were extended in an area of disturbed ground that that been the location of a former on-site structure in the southeastern portion of the site on May 9, 2012. The purpose of the investigation was to document the presence or absence of regulated material in the subsurface (debris and/or field evidence of contamination). Test pits were extended using a standard back hoe (with a maximum reach of 14') below surface grade to a maximum depth of 10' below grade where native, undisturbed soils were encountered.

Soils encountered during the extension of test pits generally consisted of medium reddish brown sandy soil with brick and concrete fragments. A stone foundation wall was encountered at six feet below grade at the far western portion of the site. No evidence of regulated materials or field evidence of contamination was encountered during the extension of test pits. In the absence of field evidence of contamination, no soil samples were collected and no further investigation was recommended.

Vegetative Features

No overt areas of stressed or dying vegetation indicative of the presence of contaminants in surface or subsurface soils were observed on the property.

Pits, Ponds, Lagoons, or Other Pools of Liquid

No pits, ponds, lagoons, or other pools of liquid exhibiting evidence (e.g., discolored water, distressed vegetation, obvious wastewater discharge) of holding liquids or sludge containing hazardous substances or petroleum products were observed on the property.

Surface Waters

No surface water bodies are located on the subject property.



Odors

No unusual odors indicative of the presence of contamination were noted.

Polychlorinated Biphenyls

An inspection for the presence of equipment likely to contain polychlorinated biphenyls (PCBs) was conducted by this office. PCBs were widely used in equipment such as transformers, capacitors, and hydraulic equipment until 1979 when the USEPA regulated their use in this capacity. No equipment likely to contain PCBs was noted on the subject property.

6.4 Interior Observations

The northeastern on-site building is a vacant two-story masonry structure with no basement and a flat roof. Exterior siding is concrete block and the roof is likely to be covered by asphaltic materials (note: the roof was not accessible during the site inspection). City of Yonkers Assessor's Office records indicate that the building dates from 1924. The building is a former garage that contains an automotive repair area and utility room on the bottom floor and office areas on the second floor. The ground floor of the building could not be inspected because of the presence of debris. Walls and ceilings are generally covered with plaster and/or gypsum wallboard.

The north-central building is a vacant one-story masonry structure with no basement and a flat roof. Exterior siding is concrete block and the roof is likely to be covered by asphaltic materials (note: the roof was not accessible during the site inspection). City of Yonkers Assessor's Office records indicate that the building dates from 1924. The building is a former garage that contains an automotive repair area at the back of the building and office areas at the front. The building was full of debris at the time of the site inspection and the interior could not be inspected.

Potable Water Supply

According to Assessor's Office records, the subject property is serviced by the municipal water system. No water supply wells were noted on the subject property during the site inspection and no on-site uses of groundwater are known to exist for the subject property.

Sewage Disposal System

According to Assessor's Office records, the on-site structure is connected to the municipal sewer system.

Heating/Cooling

The on-site structures are currently unheated, however, the two-story structure is likely to have been heated by an oil-fired furnace located on the bottom floor and the one-story structure was likely to have been heated by a natural gas-fired furnace. Cooling was likely to have been provided by window-mounted air conditioning units. A fuel oil-fired water heater is located in a utility room on the bottom floor of the two-story structure; no water heater was observed in the one-story structure.

6.5 Asbestos-Containing Materials and Lead Based Paint

Asbestos-Containing Materials

Asbestos-containing materials (ACMs) are those materials containing over 1% of any type of asbestos. The presence or absence of asbestos within a material can only be determined through the physical analysis of material samples.



An asbestos survey of the property was performed by S&B Environmental LLC, dated May 4, 2011. No asbestos was found except in the roofing material of one of the buildings and was presumed to be present in the roofing material of the other building.

Lead-Based Paint

The presence or absence of lead-based paint (paint containing 0.5% lead by weight) can only be determined through the material analysis of paint samples. However, given that the manufacture of lead-based paint (LBP) has been regulated since 1978, a building's date of construction is often used to help assess the likelihood that LBP was used during initial construction and/or subsequent maintenance work. The presence of deteriorated paint is indicative of a potential health risk in that paint dust and chips containing lead could be inhaled and/or ingested.

A lead-based paint survey of the subject property's structures is not known to have been conducted. The date of construction of the on-site buildings (circa 1924) indicates that LBP is likely to have been used; however, in the absence of a LBP survey, no definitive statement can be made by this office regarding the presence or absence of LBP on the subject property.

The majority of the painted surfaces in the areas inspected by this office were in poor condition at the time of the site visit.



7.0 INTERVIEWS

All interviews were conducted by Mr. Hooker (interviews were planned by an Environmental Professional; see Sections 14.0 and 15.0).

7.1 Interview with Owner

Mr. Jeff Chu, representing WESTHAB (the subject property owners), was interviewed by ESI personnel as a representative of the property owner. Mr. Chu was asked questions designed to gather information that may be material to identifying recognized environmental conditions and other potential environmental liabilities associated with the property, including requests for information regarding property features, site history and use, and commonly known information related to the property.

Mr. Chu had no specialized knowledge or experience, actual knowledge, or knowledge of commonly known or reasonably ascertainable information regarding potential environmental conditions and/or liabilities in connection with the property. Interview documentation is provided in Appendix F.

7.2 Interview with Key Site Manager

Mr. Chu identified himself as a Key Site Manager for the subject property (See Section 7.1, above).

Mr. Chu was interviewed by ESI personnel and was asked to provide specific information regarding property features, site history and use, and commonly known information related to the property. Mr. Chu had no specialized knowledge or experience, actual knowledge, or knowledge of commonly known or reasonably ascertainable information regarding potential environmental conditions and/or liabilities in connection with the property.

7.3 Interviews with Occupants

The property is a vacant; See Section 7.1, above.

7.4 Interviews with Local Government Officials

No local government agencies were identified that may have significant information regarding environmental conditions at the subject property (the property has no history of site development and is not identified on any regulatory agency databases or in local records).

7.5 Interviews with Others

No other interviews were conducted.



8.0 VAPOR INTRUSION ASSESSMENT

A Tier 1 Vapor Intrusion Assessment Screening (ASTM Standard E2600-10) was performed as part of this Phase I ESA.

A previous Phase II investigation (see Section 5.4.4, above) had identified the presence of VOC contaminated soil and groundwater on the subject property associated with the former presence of a 4,000-gallon gasoline UST. As of the date of this Phase I ESA the subject property is vacant and without a receptor population there is no risk of potential vapor intrusion.

In evaluating the potential for these known on-site conditions to generate a potential vapor intrusion condition (pVIC) future development plans were taken into account. Future uses of the subject property include the construction of a residential building for housing seniors, which would introduce a receptor population to the subject property. The proposed structure would be constructed in an area of known petroleum contamination.

Based on these findings a potential vapor intrusion condition (pVIC) is present on the subject property per ASTM Standard E2600-10 and a Remedial Work Plan, (RWP) dated June 2012 has been prepared by this office. The RWP outlines procedures for the remediation of the on-site petroleum contamination; the installation of a sub slab vapor barrier; and, if necessary, the installation of an active sub slab depressurization system.



9.0 FINDINGS

9.1 Recognized Environmental Conditions

This assessment has revealed no evidence of recognized environmental conditions (RECs) in connection with the property except for the following:

- The presence of ~300 to 500 cubic yards of petroleum contaminated soil at depths between 4 and 12' below grade at the location of a former gasoline UST.
- Associated on-site petroleum contaminated groundwater.

An active NYSDEC Spill File (#1010142) is associated with this contamination.

ESI's conclusions and recommendations (in **bold**) regarding potential environmental liabilities associated with the property, if any, are presented in Section 10, below.

9.2 De Minimis Conditions

An environmental condition is considered "de minimis" when that condition generally does not present a threat to human health or the environment and generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies. Conditions determined to be de minimis are not recognized environmental conditions.

The following de minimis conditions exist on the subject property:

- Minor debris comprised of household trash is scattered across central portions of the subject property.



10.0 OPINION

1. The subject property is likely to have been used for commercial purposes from prior to 1942 until circa 2004, including on-site automotive repair and the presence of a taxi facility. At least one floor drain was observed in a former repair area. These historical activities may have potentially impacted subsurface media. An investigation of the subsurface in the southwestern portions of the subject property at the location of a former on-site structure revealed the absence of regulated material in the subsurface.

No further investigation is recommended.

2. During previously performed fieldwork (see section 5.4.4 above), a monitoring well containing free product was found in the central portion of the property. Soil borings extended in the vicinity of the monitoring well documented the presence of petroleum contaminated soil at depths between 4 and 12'. Soil borings extended in the central and western portions of the site documented the presence of petroleum contaminated soils at the groundwater interface (between 7' and 12' bsg). It is considered likely that the petroleum contaminated soils in the vicinity of the central monitoring well are contaminating on-site groundwater. A spill event was reported to the NYSDEC and Spill Number 1010142 has been issued for the site.

It is recommended that contaminated soils in the vicinity of the central monitoring well be excavated and properly disposed of off-site. At this time it is estimated that 300-500 cubic yards of such material is present on-site. It is further recommended that the results of confirmatory endpoint sampling, documenting the integrity of remaining soils, be submitted to the NYSDEC. Finally, it is recommended that additional groundwater monitoring wells be installed to document the extent of dissolved VOC contamination on (and possibly off) the Site.

3. A 275-gallon fuel oil aboveground storage tank (AST) is located in a concrete vault in the utility room of the two-story structure. This tank appeared to be in sound condition and no evidence of a significant release or an impending threat of a release was observed during the site inspection (minor staining, from filling activities, was noted during the site inspection). Future releases from this tank, however, could impact the subject property.

It is recommended that all PBS tanks be periodically inspected and managed in accordance with applicable state and local regulations.

4. Lead-based paint could potentially be present on the subject property. Painted surfaces on the interior and exterior of both structures were observed to be in poor condition during the site inspection.

No further investigation is recommended. Any suspect material encountered during maintenance, renovation, or demolition activities should be tested for lead, or, in the absence of analytical data, be treated as though it contained lead. All maintenance, renovation, or demolition activities should be conducted in accordance with applicable regulations.

5. An asbestos survey of the property was performed by S&B Environmental LLC, on 28, April 2011 and an Asbestos Bulk Sampling Report, dated May 4, 2011 was prepared. No asbestos was found except in the roofing material of one of the buildings and was presumed to be present in the roofing material of the other building.



The S & B Asbestos Bulk Sampling Report recommended that the roofing materials be removed by a licensed contractor prior to the demolition of these buildings.

6. Scattered trash is located throughout the property. None of these debris materials were judged by this office to pose a threat to the environmental integrity of the subject property.

It is recommended that debris materials be segregated into appropriate waste streams (i.e., those which can be disposed of as non-regulated solid waste and those which require special handling) and be disposed of off-site. Any regulated wastes encountered in on-site debris (e.g., construction and demolition debris) should be managed in accordance with applicable local, state and federal regulations, including as necessary, sampling and analysis of materials for asbestos and leachable concentrations of lead.



11.0 CONCLUSIONS

Ecosystems Strategies, Inc. (ESI) has performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E 1527-05 of the property located at 7-17 Ludlow Street, City of Yonkers, Westchester County, New York. Any exceptions to, or deletions from, this practice are described in Section 11.0 of this report. This assessment has revealed no evidence of recognized environmental conditions in connection with the property except for the following:

- The presence of ~300 to 500 cubic yards of petroleum contaminated soil at depths between 4 and 12' below grade at the location of a former gasoline UST.
- Associated on-site petroleum contaminated groundwater.

An active NYSDEC Spill File (#1010142) is associated with this contamination.

A Remedial Work Plan has been prepared which outlines remedial procedures necessary for cleanup and to obtain closure of the spill file by the NYSDEC.

See Section 10.0, above, for conclusions, if appropriate, for each recognized environmental condition.



12.0 DEVIATIONS

This Phase I ESA has been prepared in conformance with guidelines set forth by the American Society for Testing and Materials Method E1527-05; no exceptions to or deletions from this practice have occurred.



13.0 ADDITIONAL SERVICES

ESI has contracted with the Client to provide additional services outside the scope of the ASTM practice E1527-05. These services include a review of maps for the presence of on-site wetlands (Section 3.2.4), a review of NYSDOH records for radon data (Section 5.1.2), and a cursory physical inspection for the presence or absence of wetlands, lead-based paint, and suspect asbestos containing material (Sections 3.0 and 6.0).



14.0 REFERENCES

14.1 Maps and Documents

ESI Phase I ESA, dated May 2007.

ESI Combined Phase I/II ESA, dated June 2011.

ESI Supplementary Phase II ESA, dated June 2011.

FirstSearch Technology Corporation, Environmental FirstSearch Report, December 27, 2010.

New York State Department of Environmental Conservation, Freshwater Wetlands Map of the Yonkers, New York Quadrangle, dated 1973.

Sanborn Fire Insurance Company Maps dated 1898, 1917, 1942, 1951, 1956, 1957, 1971, 1973, 1978, 1989 and 1991.

United States Department of Agriculture Soil Conservation Service's Soil Survey for Putnam and Westchester Counties, dated September 1994.

United States Department of the Interior National Wetlands Inventory Map of the Yonkers, New York Quadrangle, dated March 1984.

United States Geological Survey Topographic Map of the Yonkers, New York Quadrangle, dated 1966, (photorevised 1979).

University of the State of New York, Geologic Map of New York, Fisher, *et al.*, editors (dated 1970, reprinted 1995) and Surficial Geologic Map of New York, D. Cadwell, editor (dated 1989), Lower Hudson Sheets.

14.2 Local Agency Records

City of Yonkers Assessor's Office records, reviewed May 9, 2012.

City of Yonkers Building Department records, reviewed May 9, 2012.

City of Yonkers Fire Department records requested, May 9, 2012.

14.3 Communications

Jeff Chu, representing Westhab, Inc, various dates, May and June 2012.



15.0 SIGNATURES OF ENVIRONMENTAL PROFESSIONAL(S)

The following statements are required by 40 CFR 312.21(d) of the environmental professional(s) responsible for conducting and preparing the Phase I Environmental Site Assessment report.

I declare that, to the best of my professional knowledge and belief, I meet the definition of Environmental professional as defined in §312.10 of 40 CFR 312.

and

I have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. I have developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312.

A handwritten signature in black ink that reads "Paul H. Ciminello".

Paul H. Ciminello
President, Ecosystems Strategies, Inc.

A handwritten signature in black ink that reads "Kimberly Punchar".

Kimberly Punchar
Director of Environmental Investigations, Ecosystems Strategies, Inc.



16.0 QUALIFICATIONS OF ENVIRONMENTAL PROFESSIONAL(S)

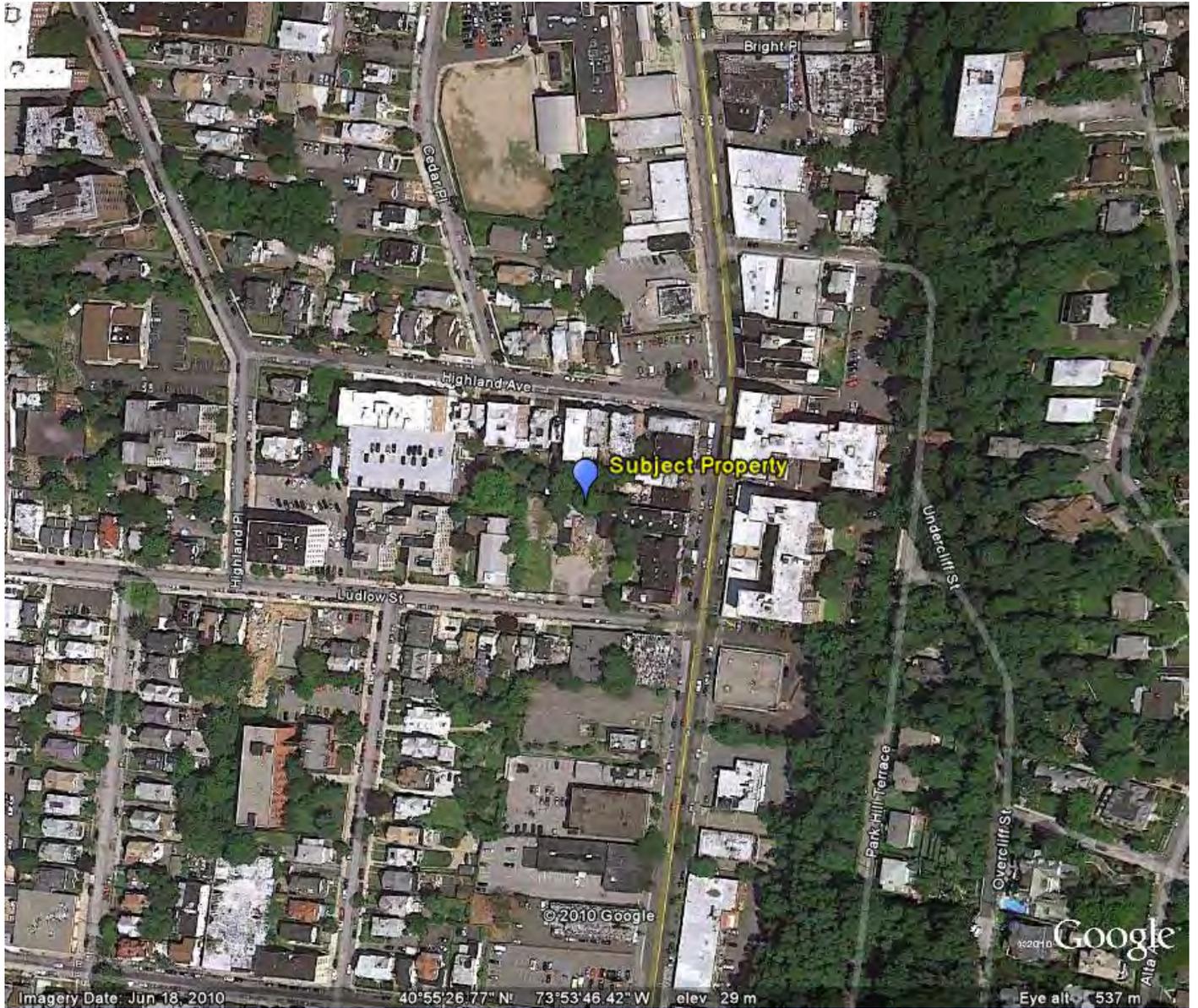
ASTM Practice E 1527-05 requires that the Phase I environmental site assessment be performed by an environmental professional or be conducted under the supervision or responsible charge of the environmental professional, and that the interviews and site reconnaissance be performed by a person possessing sufficient training and experience necessary to accomplish these tasks and having the ability to identify issues relevant to recognized environmental conditions in connection with the property. At a minimum, the environmental professional must be involved in planning the site reconnaissance and interviews. Review and interpretation of information upon which the report is based must be performed by the environmental professional.

This environmental site assessment was conducted under the supervision and responsible charge of the environmental professionals identified in Section 14.0, above. The environmental professionals were involved in planning the site reconnaissance and interviews (conducted by Richard Hooker), and performed the review and interpretation of all information upon which the report is based. Resumes for ESI personnel are presented in Appendix G.



APPENDIX A

Site Location Map and Physical Settings Maps



Site Location Map

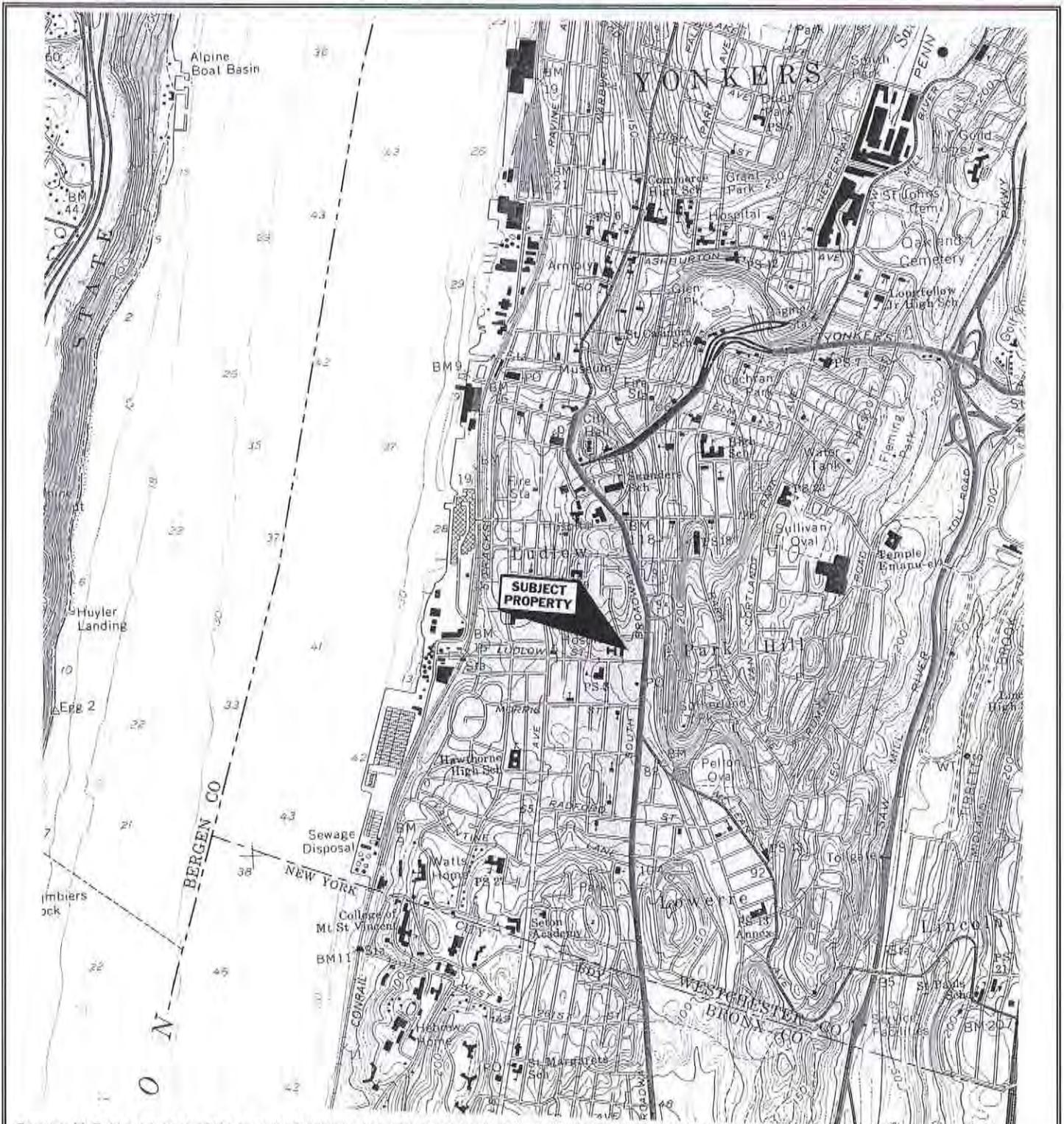
7-17 Ludlow Street
 City of Yonkers
 Westchester County, New York



ESI File: WY07054.20R

June 2011

Page: 5



Source: U.S. Department of the Interior Geological Survey Topographic Map of the Yonkers, NY Quadrangle, dated 1966 (photorevised 1979)

U.S.G.S. Topographic Map
 7-17 Ludlow Street
 City of Yonkers|
 Westchester County, New York



ESI File: WY07054.20R

July 2012

Scale: 1:24000



Ecosystems Strategies, Inc.

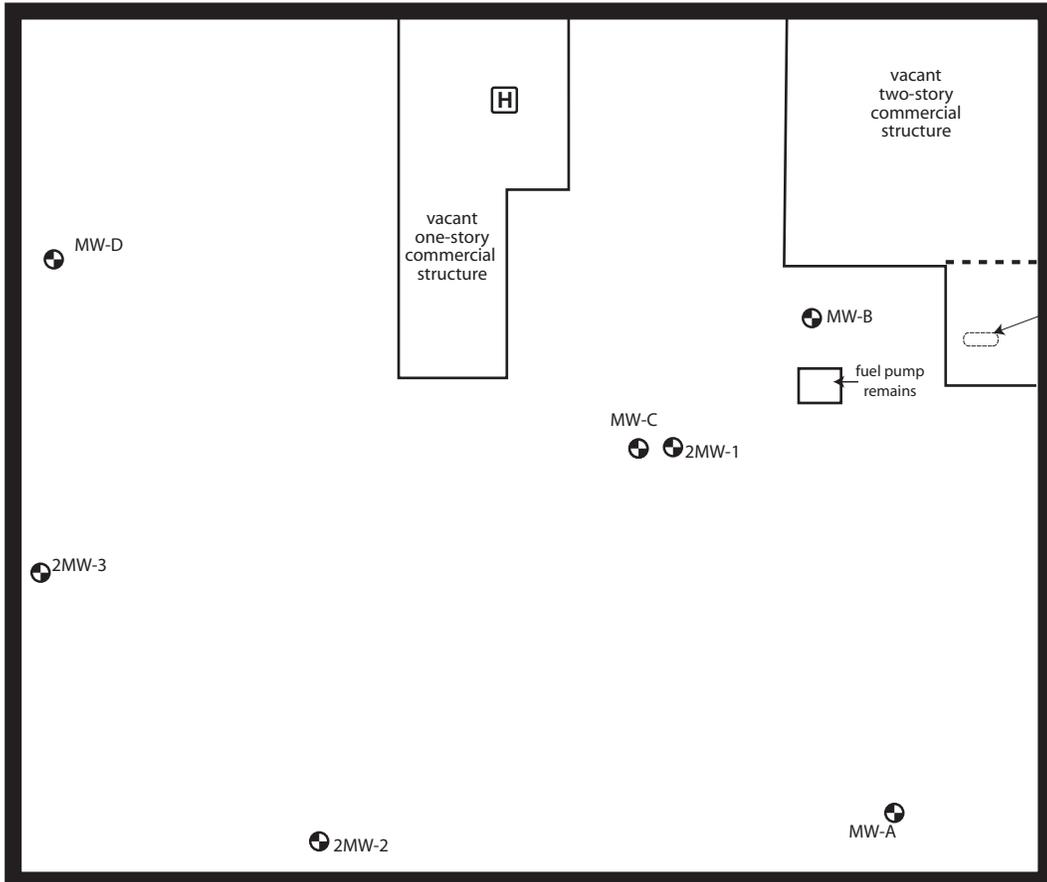
APPENDIX B

Selected Site Features Map

HIGHLAND AVENUE



residential / mixed use



275-gallon fuel oil AST
residential

Bethany African Methodist Episcopal Church

LUDLOW STREET

residential

TipTop Management

All feature locations are approximate. This map is intended as a schematic to be used in conjunction with the associated report, and it should not be relied upon as a survey for planning or other activities.

Selected Site Features Map

7-17 Ludlow Street
City of Yonkers
Westchester County, New York

Legend:

-  subject property border
-  monitoring wells
-  hydraulic lift

ESI File: WY07054.10U2

June 2012

Scale: 1" = 30' approximately

Appendix B



Ecosystems Strategies, Inc.

APPENDIX C

Site Photographs



PHOTOGRAPHS



1. **Subject property, looking north from south side of Ludlow Street.**



2. **Monitoring well in central portion of subject property.**



Ecosystems Strategies, Inc.

APPENDIX D

Historical Research Documentation



**New York State Office of Parks,
Recreation and Historic Preservation**

Historic Preservation Field Services Bureau • Peebles Island, PO Box 189, Waterford, New York 12188-0189

518-237-8643

www.nysparks.com

Andrew M. Cuomo
Governor

Rose Harvey
Commissioner

May 25, 2011

Jeffrey Chu
Westhab
85 Executive Blvd.
Elmsford, New York 10523

Re: HUD
Low income senior housing, 8-story building
7-17 Ludlow Street
YONKERS, Westchester County
11PR03537

Dear Mr. Chu:

Thank you for requesting the comments of the State Historic Preservation Office (SHPO). We have reviewed the project in accordance with Section 106 of the National Historic Preservation Act of 1966. These comments are those of the SHPO and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the National Environmental Policy Act and/or the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8).

Based upon this review, it is the SHPO's opinion that your project will have No Effect upon cultural resources in or eligible for inclusion in the National Registers of Historic Places.

If further correspondence is required regarding this project, please be sure to refer to the OPRHP Project Review (PR) number noted above.

Sincerely,

Ruth L. Pierpont
Acting Deputy Commissioner for Historic Preservation



Ecosystems Strategies, Inc.

APPENDIX E

Regulatory Records Documentation

FirstSearch Technology Corporation

Environmental FirstSearch™ Report

Target Property:

17 LUDLOW ST

YONKERS NY 10705

Job Number: WY07054.10U2

PREPARED FOR:

Ecosystems Strategies, Inc.

24 Davis Avenue

Poughkeepsie, NY 12603

05-01-12



Tel: (781) 551-0470

Fax: (781) 551-0471

Environmental FirstSearch Search Summary Report

Target Site: 17 LUDLOW ST
YONKERS NY 10705

FirstSearch Summary

Database	Sel	Updated	Radius	Site	1/8	1/4	1/2	1/2>	ZIP	TOTALS
NPL	Y	02-01-12	1.00	0	0	0	0	0	0	0
NPL Delisted	Y	02-01-12	0.50	0	0	0	0	-	0	0
CERCLIS	Y	02-27-12	0.50	0	0	0	0	-	0	0
NFRAP	Y	02-27-12	0.50	0	0	0	0	-	0	0
RCRA COR ACT	Y	03-13-12	1.00	0	0	0	0	0	0	0
RCRA TSD	Y	03-13-12	0.50	0	0	0	0	-	0	0
RCRA GEN	Y	03-13-12	0.25	0	3	6	-	-	4	13
RCRA NLR	Y	03-13-12	0.25	0	4	6	-	-	18	28
Federal Brownfield	Y	02-01-12	0.50	0	0	0	0	-	0	0
ERNS	Y	04-13-12	0.15	0	0	1	-	-	0	1
Tribal Lands	Y	12-15-08	1.00	0	0	0	0	0	4	4
State/Tribal Sites	Y	04-05-12	1.00	0	0	0	0	0	0	0
State Spills 90	Y	01-10-12	0.25	0	18	44	-	-	17	79
State/Tribal SWL	Y	01-11-12	0.50	0	0	0	0	-	3	3
State/Tribal LUST	Y	04-05-12	0.25	0	8	16	-	-	6	30
State/Tribal UST/AST	Y	04-05-12	0.25	0	17	35	-	-	3	55
State/Tribal EC	Y	04-05-12	0.25	0	0	0	-	-	0	0
State/Tribal IC	Y	04-05-12	0.25	0	0	0	-	-	0	0
State/Tribal VCP	Y	04-05-12	0.50	0	0	0	1	-	0	1
State/Tribal Brownfields	Y	04-05-12	0.50	0	0	0	1	-	1	2
State Other	Y	04-05-12	0.25	0	0	0	-	-	0	0
Federal IC/EC	Y	03-13-12	0.25	0	0	0	-	-	0	0
- TOTALS -				0	50	108	2	0	56	216

Notice of Disclaimer

Due to the limitations, constraints, inaccuracies and incompleteness of government information and computer mapping data currently available to FirstSearch Technology Corp., certain conventions have been utilized in preparing the locations of all federal, state and local agency sites residing in FirstSearch Technology Corp.'s databases. All EPA NPL and state landfill sites are depicted by a rectangle approximating their location and size. The boundaries of the rectangles represent the eastern and western most longitudes; the northern and southern most latitudes. As such, the mapped areas may exceed the actual areas and do not represent the actual boundaries of these properties. All other sites are depicted by a point representing their approximate address location and make no attempt to represent the actual areas of the associated property. Actual boundaries and locations of individual properties can be found in the files residing at the agency responsible for such information.

Waiver of Liability

Although FirstSearch Technology Corp. uses its best efforts to research the actual location of each site, FirstSearch Technology Corp. does not and can not warrant the accuracy of these sites with regard to exact location and size. All authorized users of FirstSearch Technology Corp.'s services proceeding are signifying an understanding of FirstSearch Technology Corp.'s searching and mapping conventions, and agree to waive any and all liability claims associated with search and map results showing incomplete and or inaccurate site locations.

**Environmental FirstSearch
Site Information Report**

Request Date: 05-01-12
Requestor Name: Richard
Standard: ASTM-05

Search Type: COORD
Job Number: WY07054.10U2
Filtered Report

Target Site: 17 LUDLOW ST
 YONKERS NY 10705

Demographics

Sites: 216	Non-Geocoded: 56	Population: NA
Radon: OF THE 16 HOMES TESTED, THE AVG. PCI/L LEVEL WAS 2.3		

Site Location

	<u>Degrees (Decimal)</u>	<u>Degrees (Min/Sec)</u>	<u>UTMs</u>
Longitude:	-73.896827	-73:53:49	Easting: 592888.675
Latitude:	40.923767	40:55:26	Northing: 4530668.581
Elevation:	92		Zone: 18

Comment

Comment:

Additional Requests/Services

Adjacent ZIP Codes: 1 Mile(s)

Services:

ZIP Code	City Name	ST	Dist/Dir	Sel
10471	BRONX	NY	0.80 SW	Y
10701	YONKERS	NY	0.06 NW	Y
10704	YONKERS	NY	0.82 SE	Y

	Requested?	Date
Fire Insurance Maps	No	
Aerial Photographs	No	
Historical Topos	No	
City Directories	No	
Title Search/Env Liens	No	
Municipal Reports	No	
Online Topos	No	

Environmental FirstSearch Sites Summary Report

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

TOTAL: 216 **GEOCODED:** 160 **NON GEOCODED:** 56 **SELECTED:** 10

Map ID	DB Type	Site Name/ID/Status	Address	Dist/Dir	ElevDiff	Page No.
76	BROWNFIELD	185 - 187 RIVERDALE AVE. C360074/BCP	185 RIVERDALE AVE YONKERS NY 10705	0.30 NW	- 40	2
	BROWNFIELD	MAIN/HUDSON/HAWTHORNE SITE C360076/BCP	MAIN ST., HUDSON ST., HAWTH YONKERS NY 10701	NON GC	N/A	N/A
22	ERNS	NRC-591086/PIPELINE	243 S BROADWAY YONKERS NY 10705	0.13 NE	+ 15	N/A
1	LUST	DEVA LEASING CORP. 9505134/CLOSED	13 LUDLOW ST YONKERS NY 10705	0.01 NE	+ 3	3
2	LUST	BUSINESS 0508586/CLOSED	7 LUDLOW ST YONKERS NY 10705	0.02 NE	+ 4	5
10	LUST	APT. BUILDING 0710931/CLOSED	15 HAMILTON AVE YONKERS NY 10705	0.08 SW	- 17	N/A
12	LUST	APT BLDG 9803514/CLOSED	260 S BROADWAY YONKERS NY 10705	0.09 NE	+ 45	N/A
12	LUST	ALAN TOWERS 0504679/HISTORIC-ACTIVE	260 S BROADWAY YONKERS NY 10705	0.09 NE	+ 45	N/A
15	LUST	T and G SERVICE STATION 8806675/CLOSED	310 S BROADWAY YONKERS NY 10705	0.10 SE	+ 25	N/A
16	LUST	ALMONTE RESIDENCE 0506537/ACTIVE	33 MORRIS ST YONKERS NY 10705	0.10 SW	- 16	N/A
18	LUST	OCONNER RES 0104146/CLOSED	64 HIGHLAND AVE YONKERS NY 10701	0.11 NW	+ 16	N/A
23	LUST	PARKSIDE MANAGEMENT 0307504/CLOSED	45 HAMILTON AVE YONKERS NY 10705	0.13 SW	- 17	N/A
25	LUST	MR RICHARD MOORE 9709212/CLOSED	3 UNDERCLIFF ST YONKERS NY 10701	0.14 NE	+ 43	N/A
26	LUST	PREMIER ASSET SERVICES 0902127/CLOSED	38 LIVINGSTON AVE YONKERS NY 10705	0.14 SW	- 25	N/A
30	LUST	0007654/CLOSED	340 S BROADWAY YONKERS NY 10705	0.15 SE	+ 31	N/A
33	LUST	YONKERS MOTORS 9304771/CLOSED	210 S BROADWAY YONKERS NY 10701	0.17 NE	+ 22	N/A
37	LUST	0209043/CLOSED	99 ALTA AVE YONKERS NY 10705	0.18 SE	+ 170	N/A
41	LUST	DIMAIO MILL WORK 1008591/CLOSED	12 BRIGHT PL YONKERS NY 10701	0.19 NE	+ 59	N/A
49	LUST	YOUNG ADULT INSTITUTE 0300812/CLOSED	1 ROSE LN YONKERS NY 10705	0.20 NE	+ 179	N/A
44	LUST	DINOS GAS CENTER 8908085/CLOSED	200 S BROADWAY YONKERS NY 10701	0.20 NE	+ 11	N/A
44	LUST	GAS WAY 9900459/CLOSED	200 S BROADWAY YONKERS NY 10701	0.20 NE	+ 11	N/A

Environmental FirstSearch Sites Summary Report

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

TOTAL: 216 **GEOCODED:** 160 **NON GEOCODED:** 56 **SELECTED:** 10

Map ID	DB Type	Site Name/ID/Status	Address	Dist/Dir	ElevDiff	Page No.
43	LUST	RESIDENCE 9806576/CLOSED	69 HAMILTON AVE YONKERS NY 10705	0.20 SW	- 15	N/A
58	LUST	ACCURATE PLASTICS 0909488/CLOSED	18 MORRIS PL YONKERS NY 10705	0.22 SW	- 15	N/A
62	LUST	AOT. BLDG. 9107610/CLOSED	117 LUDLOW ST YONKERS NY 10705	0.24 NW	- 51	N/A
62	LUST	COMMERCIAL PROPERTY 0904290/CLOSED	117 LUDLOW ST YONKERS NY 10705	0.24 NW	- 51	N/A
62	LUST	APARTMENT BUILDING 0501524/CLOSED	117 LUDLOW ST YONKERS NY 10705	0.24 NW	- 51	N/A
65	LUST	WEST HAB 0412339/ACTIVE	95 ELLIOT AVE YONKERS NY 10705	0.24 SW	- 2	N/A
	LUST	MONAHAN 8701635/CLOSED	VALENTINE ST YONKERS NY 10701	NON GC	N/A	N/A
	LUST	ROBINSON RESIDENCE 0912840/ACTIVE	BRUCE AVE YONKERS NY	NON GC	N/A	N/A
	LUST	NYS THRUWAY SOUTHBD 0612663/CLOSED	EXIT 8A YONKERS NY	NON GC	N/A	N/A
	LUST	NYS DOT SPRINGBROOK 0308914/CLOSED	SPRINGBROOK PKWY YONKERS NY	NON GC	N/A	N/A
	LUST	CONSTRUCTION SITE/ TIBBE 0607560/HISTORIC-ACTIVE	MIDLAND AVE YONKERS NY	NON GC	N/A	N/A
	LUST	SCHLOBOHM HOUSES 0403463/CLOSED	WALSH RD YONKERS NY	NON GC	N/A	N/A
7	RCRAGN	ETHALS CLEANERS NYD119018893/SGN	279 S BROADWAY YONKERS NY 10705	0.06 NE	+ 16	N/A
12	RCRAGN	CON EDISON NYP004168738/VGN	260 S BROADWAY YONKERS NY 10705	0.09 NE	+ 45	N/A
13	RCRAGN	PEP BOYS 254 NYR000033282/VGN	286 S BROADWAY YONKERS NY 10705	0.09 SE	+ 40	N/A
34	RCRAGN	359 S BROADWAY CLEANERS NYD982531568/VGN	359 S BROADWAY YONKERS NY 10705	0.18 SE	- 3	N/A
39	RCRAGN	MAYFIELD AUTO BODY SHOP NYD982270159/VGN	221 S BROADWAY YONKERS NY 10705	0.19 NE	+ 13	N/A
40	RCRAGN	YONKERS PUBLICS SCHOOL - DE HO NYR000062919/SGN	75 MORRIS ST YONKERS NY 10705	0.19 SW	- 33	N/A
52	RCRAGN	CON EDISON NYP004182390/VGN	S BROADWAY and MCLEAN AVE YONKERS NY 10705	0.21 SE	- 2	N/A
70	RCRAGN	Y D P INC NYR000141333/VGN	137 SCHOOL ST YONKERS NY 10701	0.25 NE	+ 15	N/A

Environmental FirstSearch Sites Summary Report

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

TOTAL: 216 **GEOCODED:** 160 **NON GEOCODED:** 56 **SELECTED:** 10

Map ID	DB Type	Site Name/ID/Status	Address	Dist/Dir	ElevDiff	Page No.
69	RCRAGN	COSMETIC CAR CARE NY0000195263/VGN	320 RIVERDALE AVE YONKERS NY 10705	0.25 SW	- 37	N/A
	RCRAGN	CON EDISON NYP004199154/VGN	CARYL AVE and MCLEAN AVE YONKERS NY 10705	NON GC	N/A	N/A
	RCRAGN	CON EDISON NYP004199022/VGN	MCLEAN AVE 95 FT W OF TIBBE YONKERS NY 10705	NON GC	N/A	N/A
	RCRAGN	CON EDISON NYP004199030/VGN	N SIDE MCLEAN AVE 113 FT E YONKERS NY 10705	NON GC	N/A	N/A
	RCRAGN	CON EDISON NYP004199048/VGN	N SIDE MCLEAN AVE 90 FT W YONKERS NY 10705	NON GC	N/A	N/A
1	RCRANLR	DEVA LEASING CORP NYR000012443/NLR	13 LUDLOW ST YONKERS NY 10705	0.01 NE	+ 3	7
7	RCRANLR	ETHALS CLEANERS NYD119018893/NLR	279 S BROADWAY YONKERS NY 10705	0.06 NE	+ 16	N/A
13	RCRANLR	PEP BOYS 254 NYR000033282/NLR	286 S BROADWAY YONKERS NY 10705	0.09 SE	+ 40	N/A
15	RCRANLR	SERVICE STATION NYD000702522/NLR	310 S BROADWAY YONKERS NY 10705	0.10 SE	+ 25	N/A
32	RCRANLR	CON EDISON MANHOLE 1097 NYP004215984/NLR	59 HAMILTON AVE YONKERS NY 10705	0.17 SW	- 18	N/A
40	RCRANLR	YONKERS PUBLICS SCHOOL - DE HO NYR000062919/NLR	75 MORRIS ST YONKERS NY 10705	0.19 SW	- 33	N/A
43	RCRANLR	CON EDISON MANHOLE 1097 NYP004215364/NLR	69 HAMILTON AVE YONKERS NY 10705	0.20 SW	- 15	N/A
52	RCRANLR	CON EDISON NYP004208621/NLR	S BROADWAY and MCLEAN AVE YONKERS NY 10705	0.21 SE	- 2	N/A
71	RCRANLR	NEW YORK TELEPHONE NYP000910257/NLR	191 S BROADWAY YONKERS NY 10705	0.25 NE	+ 12	N/A
70	RCRANLR	Y D P INC NYR000141333/NLR	137 SCHOOL ST YONKERS NY 10701	0.25 NE	+ 15	N/A
	RCRANLR	CON EDISON MANHOLE 11181 NYP004217935/NLR	RIVERDALE AVE and HUDSON ST YONKERS NY 10701	NON GC	N/A	N/A
	RCRANLR	CON EDISON NYP004211389/NLR	MCLEAN AVE and TIBBITS RD YONKERS NY 10705	NON GC	N/A	N/A
	RCRANLR	CON EDISON MANHOLE 977 NYP004222956/NLR	JACKSON ST and HIGHLAND AVE YONKERS NY 10701	NON GC	N/A	N/A
	RCRANLR	CON EDISON MANHOLE NYP004206233/NLR	CENTRAL PARK AVE and MCLEAN YONKERS NY 10701	NON GC	N/A	N/A
	RCRANLR	CON EDISON - MANHOLE 1288 NYP004132189/NLR	SCHOOL STREET, YONKERS, NEW YONKERS NY 10701	NON GC	N/A	N/A

Environmental FirstSearch Sites Summary Report

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

TOTAL: 216 **GEOCODED:** 160 **NON GEOCODED:** 56 **SELECTED:** 10

Map ID	DB Type	Site Name/ID/Status	Address	Dist/Dir	ElevDiff	Page No.
	RCRANLR	CON EDISON NYP004210225/NLR	BARKLEY AVE and S BROADWAY YONKERS NY 10701	NON GC	N/A	N/A
	RCRANLR	CON EDISON NYP004208092/NLR	RIVERDALE AVE and HARRIOT S YONKERS NY 10701	NON GC	N/A	N/A
	RCRANLR	CON EDISON NYP004208175/NLR	RIVERDALE AVE and HUDSON PL YONKERS NY 10701	NON GC	N/A	N/A
	RCRANLR	CON EDISON NYP004205514/NLR	CENTRAL PARK AVE and MCLEAN YONKERS NY 10701	NON GC	N/A	N/A
	RCRANLR	CON EDISON MANHOLE 1097 NYP004219323/NLR	169 HAMILTON AVE YONKERS NY 10705	NON GC	N/A	N/A
	RCRANLR	CON EDISON MANHOLE 1084 NYP004220984/NLR	HAMILTON AVE and MORRIS AVE YONKERS NY 10705	NON GC	N/A	N/A
	RCRANLR	CON EDISON MANHOLE 1084 NYP004219315/NLR	MORRIS ST and HAMITON AVE YONKERS NY 10705	NON GC	N/A	N/A
	RCRANLR	CON EDISON MANHOLE NYP004209324/NLR	MCLEAN AVE and ROMAINE ST YONKERS NY 10705	NON GC	N/A	N/A
	RCRANLR	CON EDISON NYP004211405/NLR	MCLEAN AVE and MONROE ST YONKERS NY 10705	NON GC	N/A	N/A
	RCRANLR	CON EDISON NYP004211488/NLR	MCLEAN AVE 200 FEET E OF YONKERS NY 10705	NON GC	N/A	N/A
	RCRANLR	CON EDISON NYP004211504/NLR	MCLEAN AVE and MONROE ST YONKERS NY 10705	NON GC	N/A	N/A
	RCRANLR	COSMETIC CAR CARE NY0000195263/NLR	320 RIVERDALE AVE YONKERS NY 10705	NON GC	N/A	N/A
	RCRANLR	CON EDISON TRANSFORMER MANHOLE NYP004220398/NLR	S BROADWAY and PROSPECT AVE YONKERS NY 10701	NON GC	N/A	N/A
1	SPILLS	DEVA LEASING CORP. 9505134/CLOSED	13 LUDLOW ST YONKERS NY 10705	0.01 NE	+ 3	8
2	SPILLS	VACANT COMMERCIAL 1010142/ACTIVE	7 LUDLOW ST YONKERS NY 10705	0.02 NE	+ 4	10
2	SPILLS	17 LUDLOW STREET PROJECT 0412184/CLOSED	7-17 LUDLOW ST YONKERS NY 10705	0.02 NE	+ 4	11
2	SPILLS	BUSINESS 0508586/CLOSED	7 LUDLOW ST YONKERS NY 10705	0.02 NE	+ 4	13
8	SPILLS	307 SOUTH BROADWAY 9501750/CLOSED	307 S BROADWAY YONKERS NY 10705	0.06 SE	+ 1	N/A
9	SPILLS	RESIDENCE 0710029/CLOSED	7 HAMILTON AVE YONKERS NY 10705	0.06 SW	- 13	N/A
10	SPILLS	APT. BUILDING 0710931/CLOSED	15 HAMILTON AVE YONKERS NY 10705	0.08 SW	- 17	N/A

Environmental FirstSearch Sites Summary Report

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

TOTAL: 216 **GEOCODED:** 160 **NON GEOCODED:** 56 **SELECTED:** 10

Map ID	DB Type	Site Name/ID/Status	Address	Dist/Dir	ElevDiff	Page No.
12	SPILLS	HARJEFF REALTY 0512947/CLOSED	260 S BROADWAY YONKERS NY 10705	0.09 NE	+ 45	N/A
12	SPILLS	APT BLDG 9803514/CLOSED	260 S BROADWAY YONKERS NY 10705	0.09 NE	+ 45	N/A
12	SPILLS	ALAN TOWERS 0504679/CLOSED	260 S BROADWAY YONKERS NY 10705	0.09 NE	+ 45	N/A
12	SPILLS	216658; 260 SOUTH BROADWAY 0914197/CLOSED	260 S BROADWAY YONKERS NY 10705	0.09 NE	+ 45	N/A
17	SPILLS	PRIVATE DWELLING 0810860/CLOSED	7 HIGHLAND PL YONKERS NY 10705	0.10 NW	+ 1	N/A
15	SPILLS	BROADWAY GAS POST 9012588/CLOSED	310 S BROADWAY YONKERS NY 10705	0.10 SE	+ 25	N/A
15	SPILLS	9516038/CLOSED	310 S BROADWAY YONKERS NY 10705	0.10 SE	+ 25	N/A
16	SPILLS	ALMONTE RESIDENCE 0506537/ACTIVE	33 MORRIS ST YONKERS NY 10705	0.10 SW	- 16	N/A
18	SPILLS	OCONNER RES 0104146/CLOSED	64 HIGHLAND AVE YONKERS NY 10701	0.11 NW	+ 16	N/A
21	SPILLS	VACANT BLDG 0611101/ACTIVE	255 S BROADWAY YONKERS NY 10705	0.12 NE	+ 19	N/A
20	SPILLS	SERVICE BOX 427 0003081/CLOSED	S BROADWAY and CLIFF ST YONKERS NY 10701	0.12 NE	+ 27	N/A
22	SPILLS	FIRE 0109894/CLOSED	243 S BROADWAY YONKERS NY 10705	0.13 NE	+ 15	N/A
23	SPILLS	PARKSIDE MANAGEMENT 0307504/CLOSED	45 HAMILTON AVE YONKERS NY 10705	0.13 SW	- 17	N/A
25	SPILLS	MR RICHARD MOORE 9709212/CLOSED	3 UNDERCLIFF ST YONKERS NY 10701	0.14 NE	+ 43	N/A
26	SPILLS	PREMIER ASSET SERVICES 0902127/CLOSED	38 LIVINGSTON AVE YONKERS NY 10705	0.14 SW	- 25	N/A
28	SPILLS	HYATT RESIDENCE 0912877/CLOSED	81 LUDLOW ST YONKERS NY 10705	0.15 NW	- 16	N/A
30	SPILLS	0007654/CLOSED	340 S BROADWAY YONKERS NY 10705	0.15 SE	+ 31	N/A
29	SPILLS	ON ROADWAY 9309569/CLOSED	40 LIVINGSTON AVE YONKERS NY 10705	0.15 SW	- 26	N/A
33	SPILLS	YONKERS MOTORS 9304771/CLOSED	210 S BROADWAY YONKERS NY 10701	0.17 NE	+ 22	N/A
33	SPILLS	ROBERT FIENBERG 0003408/CLOSED	208 S BROADWAY YONKERS NY 10701	0.17 NE	+ 22	N/A

Environmental FirstSearch Sites Summary Report

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

TOTAL: 216 **GEOCODED:** 160 **NON GEOCODED:** 56 **SELECTED:** 10

Map ID	DB Type	Site Name/ID/Status	Address	Dist/Dir	ElevDiff	Page No.
36	SPILLS	MANHOLE 425 9914688/CLOSED	S BROADWAY and BRIGHT PL YONKERS NY 10705	0.18 NE	+ 13	N/A
37	SPILLS	0209043/CLOSED	99 ALTA AVE YONKERS NY 10705	0.18 SE	+ 170	N/A
35	SPILLS	CHAUDHARY HOME 0708810/ACTIVE	4 MORRIS PL YONKERS NY 10705	0.18 SW	- 22	N/A
41	SPILLS	DIMAIO MILL WORK 1008591/CLOSED	12 BRIGHT PL YONKERS NY 10701	0.19 NE	+ 59	N/A
40	SPILLS	YONKERS PUBLIC SCHOOLS 9111697/CLOSED	75 MORRIS ST YONKERS NY 10705	0.19 SW	- 33	N/A
45	SPILLS	ODESSY MOTORS INC 0110228/CLOSED	188 S BROADWAY YONKERS NY 10701	0.20 NE	+ 10	N/A
44	SPILLS	GAS STATION 0804964/CLOSED	200 S BROADWAY YONKERS NY 10701	0.20 NE	+ 11	N/A
45	SPILLS	ODESSEY MOTORS 0600747/CLOSED	188 S BROADWAY YONKERS NY 10701	0.20 NE	+ 10	N/A
44	SPILLS	DINO S GAS SERVICE 9210818/CLOSED	200 S BROADWAY YONKERS NY 10701	0.20 NE	+ 11	N/A
49	SPILLS	YOUNG ADULT INSTITUTE 0300812/CLOSED	1 ROSE LN YONKERS NY 10705	0.20 NE	+ 179	N/A
44	SPILLS	GAS WAY 9900459/CLOSED	200 S BROADWAY YONKERS NY 10701	0.20 NE	+ 11	N/A
50	SPILLS	9905427/CLOSED	17 ROBBINS PL YONKERS NY 10705	0.20 NW	+ 33	N/A
48	SPILLS	RIVERVIEW GARDEN COURT 9413381/CLOSED	100 HIGHLAND AVE YONKERS NY 10701	0.20 NW	+ 55	N/A
46	SPILLS	POLE 15 0406717/CLOSED	ALTA AVE and UNDERCLIFF AVE YONKERS NY 10705	0.20 SE	+ 154	N/A
47	SPILLS	POLE 9 1111976/CLOSED	ALTA AVE and LAKESIDE DR YONKERS NY 10705	0.20 SE	+ 162	N/A
43	SPILLS	RESIDENCE 9806576/CLOSED	69 HAMILTON AVE YONKERS NY 10705	0.20 SW	- 15	N/A
55	SPILLS	OLES RESIDENCE 0912350/CLOSED	153 STANLEY AVE YONKERS NY 10705	0.21 NW	- 20	N/A
52	SPILLS	MAN HOLE 441 0006982/CLOSED	S BROADWAY and MCLEAN AVE YONKERS NY 10705	0.21 SE	- 2	N/A
52	SPILLS	SOUTH BROADWAY AND 9906654/CLOSED	S BROADWAY and MCLEAN AVE YONKERS NY 10705	0.21 SE	- 2	N/A
56	SPILLS	RESIDENCE 9508288/CLOSED	145 ALTA AVE YONKERS NY 10705	0.21 SE	+ 147	N/A

Environmental FirstSearch Sites Summary Report

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

TOTAL: 216 **GEOCODED:** 160 **NON GEOCODED:** 56 **SELECTED:** 10

Map ID	DB Type	Site Name/ID/Status	Address	Dist/Dir	ElevDiff	Page No.
52	SPILLS	217305; SOUTH BROADWAY and MCL 0914282/CLOSED	S BROADWAY and MCLEAN AVE YONKERS NY 10705	0.21 SE	- 2	N/A
53	SPILLS	APT BLDG 9609492/CLOSED	86 HAMILTON AVE YONKERS NY 10705	0.21 SW	- 7	N/A
54	SPILLS	DIAZ RESIDENCE 0513069/CLOSED	62 LIVINGSTON AVE YONKERS NY 10705	0.21 SW	- 29	N/A
59	SPILLS	SB 173 0001650/CLOSED	50 CAROLINE AVE YONKERS NY 10705	0.22 NW	+ 41	N/A
58	SPILLS	ACCURATE PLASTICS 0909488/CLOSED	18 MORRIS PL YONKERS NY 10705	0.22 SW	- 15	N/A
64	SPILLS	SERVICE BOX \$517 0210754/CLOSED	197 S BROADWAY YONKERS NY 10705	0.24 NE	+ 13	N/A
62	SPILLS	APARTMENT BUILDING 0501524/CLOSED	117 LUDLOW ST YONKERS NY 10705	0.24 NW	- 51	N/A
62	SPILLS	AOT. BLDG. 9107610/CLOSED	117 LUDLOW ST YONKERS NY 10705	0.24 NW	- 51	N/A
63	SPILLS	EXCAVATION 0514083/CLOSED	119 LUDLOW ST YONKERS NY 10705	0.24 NW	- 51	N/A
62	SPILLS	COMMERCIAL PROPERTY 0904290/CLOSED	117 LUDLOW ST YONKERS NY 10705	0.24 NW	- 51	N/A
65	SPILLS	WEST HAB 0412339/ACTIVE	95 ELLIOT AVE YONKERS NY 10705	0.24 SW	- 2	N/A
73	SPILLS	APT BLDG 0902136/CLOSED	153 PARK HILL AVE YONKERS NY 10705	0.25 NE	+ 188	N/A
72	SPILLS	ALPHA SEWER 1103649/ACTIVE	39 CAROLINE AVE YONKERS NY 10701	0.25 NW	+ 52	N/A
69	SPILLS	COMMERCIAL LOT 0902156/CLOSED	320 RIVERDALE AVE YONKERS NY 10705	0.25 SW	- 37	N/A
74	SPILLS	TM 1100 0001640/CLOSED	HAMILTON AVE and POST ST YONKERS NY 10705	0.25 SW	- 1	N/A
	SPILLS	CON ED MANHOLE 1003 0311647/CLOSED	SOUTH PIER/BRIDGE YONKERS NY	NON GC	N/A	N/A
	SPILLS	ROBIN and CEDAR ST 9905447/CLOSED	ROBIN RD and CEDAR ST YONKERS NY 10701	NON GC	N/A	N/A
	SPILLS	CON ED 0604183/CLOSED	MAIN / RIVERDALE AVE YONKERS NY	NON GC	N/A	N/A
	SPILLS	POLE 6 0802893/CLOSED	42 ROSELY AVE YONKERS NY	NON GC	N/A	N/A
	SPILLS	SPRAIN RIDGE PARK 0909072/CLOSED	JACKSON AVE YONKERS NY	NON GC	N/A	N/A

Environmental FirstSearch Sites Summary Report

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

TOTAL: 216 **GEOCODED:** 160 **NON GEOCODED:** 56 **SELECTED:** 10

Map ID	DB Type	Site Name/ID/Status	Address	Dist/Dir	ElevDiff	Page No.
	SPILLS	MCLEAN AVE/MAJOR DEEGAN 0001322/CLOSED	MCLEAN AVE YONKERS NY 10705	NON GC	N/A	N/A
	SPILLS	STREET 0701282/CLOSED	NEW SCHOOL ST/PALLASADES YONKERS NY	NON GC	N/A	N/A
	SPILLS	ROADSIDE 9012088/CLOSED	ELLIOT AVE and RIVERDALE AV YONKERS NY 10705	NON GC	N/A	N/A
	SPILLS	MANHOLE 134 1003111/CLOSED	MAIN ST and RIVERDALE AVE YONKERS NY	NON GC	N/A	N/A
	SPILLS	LENOIR MANSION 9808569/CLOSED	N BROADWAY YONKERS NY 10701	NON GC	N/A	N/A
	SPILLS	VAULT 9764 0505102/CLOSED	SOUTH BROADWAY YONKERS NY	NON GC	N/A	N/A
	SPILLS	TRANSFORMER VS-9107-15WO3 0303586/CLOSED	7382 HIGHLAND AVE YONKERS NY	NON GC	N/A	N/A
	SPILLS	LIBERTY LINES 1101923/ACTIVE	RIVERDALE AVE and PROSPECT YONKERS NY	NON GC	N/A	N/A
	SPILLS	ACCIDENT ON ROADWAY 0613557/CLOSED	ROUTE 87 AND MCLEAN AVE YONKERS NY	NON GC	N/A	N/A
	SPILLS	902060 MCLEAN AVE. 9506214/CLOSED	MCLEAN AVE YONKERS NY 10705	NON GC	N/A	N/A
	SPILLS	CONSTRUCTION SITE 0907166/CLOSED	WEST SIDE RIVERDALE AVE/25 YONKERS NY	NON GC	N/A	N/A
	SPILLS	BP STATION 0903572/CLOSED	MCLEAN AVE and PELTON ST YONKERS NY	NON GC	N/A	N/A
	SWL	WESTCHESTER COUNTY; THRUWAY MR 3-00M04/INACTIVE	YONKERS TOLL PLAZA THRUWAY YONKERS NY	NON GC	N/A	N/A
	SWL	DON GLO SERVICE STATION INC 3-60J07/ACTIVE	27 WORTH ST YONKERS NY 10701	NON GC	N/A	N/A
	SWL	TRANSIT AUTO TOWING INC 3-60J14/ACTIVE	165 SAW MILL RIVER RD YONKERS NY 10701	NON GC	N/A	N/A
	TRIBALLAND	BUREAU OF INDIAN AFFAIRS CONTA BIA-10471	UNKNOWN NY 10471	NON GC	N/A	N/A
	TRIBALLAND	BUREAU OF INDIAN AFFAIRS CONTA BIA-10704	UNKNOWN NY 10704	NON GC	N/A	N/A
	TRIBALLAND	BUREAU OF INDIAN AFFAIRS CONTA BIA-10705	UNKNOWN NY 10705	NON GC	N/A	N/A
	TRIBALLAND	BUREAU OF INDIAN AFFAIRS CONTA BIA-10701	UNKNOWN NY 10701	NON GC	N/A	N/A
2	UST	7 - 17 LUDLOW STREET CORP C/O W3-801293/UNREGULATED	7 LUDLOW ST YONKERS NY 10705	0.02 NE	+ 4	14

Environmental FirstSearch Sites Summary Report

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

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Map ID	DB Type	Site Name/ID/Status	Address	Dist/Dir	ElevDiff	Page No.
3	UST	YPH ASASOCIATES PBS3-600481/HISTORIC-UNREGULATED	27 LUDLOW ST YONKERS NY 10705	0.03 NW	- 2	N/A
3	UST	YPH ASSOCIATES W3-600481/UNREGULATED	27 LUDLOW ST YONKERS NY 10705	0.03 NW	- 2	N/A
5	UST	PEREZ RESIDENCE W3-800426/ACTIVE PBS	26 HIGHLAND AVE YONKERS NY 10705	0.04 NW	+ 5	N/A
4	UST	86 HAMILTON AVE PBS3-292400/HISTORIC-ADMIN CLOSE	8 HAMILTON AVE YONKERS NY 10705	0.04 SW	- 8	N/A
6	UST	HIGHLAND SENIOR RESIDENCE W3-801568/ACTIVE PBS	34 HIGHLAND AVE YONKERS NY 10705	0.05 NW	+ 4	N/A
11	UST	NEWMAN/LEWIS PROPERTY W3-800463/ACTIVE PBS	317 S BROADWAY YONKERS NY 10705	0.08 SE	- 1	N/A
10	UST	RENEE BURKE MANOR W3-411655/ACTIVE PBS	15 HAMILTON AVE YONKERS NY 10705	0.08 SW	- 17	N/A
10	UST	RENEE BURKE MANOR PBS3-411655/HISTORIC-ACTIVE PBS	15 HAMILTON AVE YONKERS NY 10705	0.08 SW	- 17	N/A
14	UST	ADORNO MARIANI W3-800462/ACTIVE PBS	272 S BROADWAY YONKERS NY 10705	0.09 NE	+ 58	N/A
12	UST	HARJEFF REALTY CO PBS3-259195/HISTORIC-ACTIVE PBS	260 S BROADWAY YONKERS NY 10705	0.09 NE	+ 45	N/A
12	UST	HARJEFF REALTY COMPANY, L.P. W3-259195/ACTIVE PBS	260 S BROADWAY YONKERS NY 10705	0.09 NE	+ 45	N/A
17	UST	7 HIGHLAND PLACE PBS3-600685/HISTORIC-ACTIVE PBS	7 HIGHLAND PL YONKERS NY 10705	0.10 NW	+ 1	N/A
17	UST	7 HIGHLAND PLACE W3-600685/ACTIVE PBS	7 HIGHLAND PL YONKERS NY 10705	0.10 NW	+ 1	N/A
15	UST	BROADWAY GAS POST PBS3-497649/HISTORIC-ACTIVE PBS	310 S BROADWAY YONKERS NY 10705	0.10 SE	+ 25	N/A
15	UST	BROADWAY GAS POST W3-497649/UNREGULATED	310 S BROADWAY YONKERS NY 10705	0.10 SE	+ 25	N/A
19	UST	VICKY INCORPORATED W3-800461/ACTIVE PBS	248 S BROADWAY YONKERS NY 10705	0.11 NE	+ 55	N/A
24	UST	45 MORRIS STREET ASSCIATES W3-800091/ADMIN CLOSED	45 MORRIS ST YONKERS NY 10705	0.13 SW	- 20	N/A
27	UST	CEDAR PLACE SCHOOL W3-801338/ACTIVE PBS	20 CEDAR PL YONKERS NY 10705	0.14 NE	+ 17	N/A
31	UST	49 CEDAR PLACE W3-800435/ACTIVE PBS	49 CEDAR PL YONKERS NY 10705	0.16 NW	+ 38	N/A
33	UST	YONKERS HONDA - MAZDA W3-600444/UNREGULATED	210 S BROADWAY YONKERS NY 10701	0.17 NE	+ 22	N/A

Environmental FirstSearch Sites Summary Report

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

TOTAL: 216 **GEOCODED:** 160 **NON GEOCODED:** 56 **SELECTED:** 10

Map ID	DB Type	Site Name/ID/Status	Address	Dist/Dir	ElevDiff	Page No.
33	UST	YONKERS HONDA - MAZDA PBS3-600444/HISTORIC-ACTIVE PBS	210 S BROADWAY YONKERS NY 10701	0.17 NE	+ 22	N/A
38	UST	HOVAT HOLDINGS W3-600813/ACTIVE PBS	169 STANLEY AVE YONKERS NY 10705	0.18 NW	- 28	N/A
38	UST	169 STANLEY AVENUE CORP. PBS3-600813/HISTORIC-ACTIVE PBS	169 STANLEY AVE YONKERS NY 10705	0.18 NW	- 28	N/A
41	UST	JOY LIEBERT GELB W3-800602/UNREGULATED	12 BRIGHT PL YONKERS NY 10701	0.19 NE	+ 59	N/A
41	UST	DMD REALTY LLC / DIMAIO MILLWO W3-801316/ACTIVE PBS	12 BRIGHT PL YONKERS NY 10701	0.19 NE	+ 59	N/A
42	UST	HIGHLAND PROPERTIES, INC. W3-192503/ACTIVE PBS	85 HIGHLAND AVE YONKERS NY 10705	0.19 NW	+ 22	N/A
42	UST	GOTHAM INVESTORS PBS3-192503/HISTORIC-ACTIVE PBS	85 HIGHLAND AVE YONKERS NY 10705	0.19 NW	+ 22	N/A
40	UST	EUGENIO MARIA DE HOSTOS MICROS W3-600422/ACTIVE PBS	75 MORRIS ST YONKERS NY 10705	0.19 SW	- 33	N/A
40	UST	EUGENIO MARIA DE HOSTOS MICROS PBS3-600422/HISTORIC-ACTIVE PBS	75 MORRIS ST YONKERS NY 10705	0.19 SW	- 33	N/A
45	UST	SAFEGUARD YONKERS W3-801320/UNREGULATED	188 S BROADWAY YONKERS NY 10701	0.20 NE	+ 10	N/A
44	UST	T and S GAS CENTER INC W3-502308/ACTIVE PBS	200 S BROADWAY YONKERS NY 10701	0.20 NE	+ 11	N/A
44	UST	DINO S GAS CENTER INC. PBS3-502308/HISTORIC-ACTIVE PBS	200 S BROADWAY YONKERS NY 10701	0.20 NE	+ 11	N/A
43	UST	SAMAN B NEMEH W3-800094/UNREGULATED	69 HAMILTON AVE YONKERS NY 10705	0.20 SW	- 15	N/A
51	UST	PJ PROPERTIES W3-800430/ACTIVE PBS	78 HAMILTON AVE YONKERS NY 10705	0.20 SW	- 8	N/A
57	UST	SOUTH BROADWAY, INC. W3-601185/ACTIVE PBS	373 S BROADWAY YONKERS NY 10705	0.21 SE	- 4	N/A
57	UST	SOUTH BROADWAY INC. PBS3-601185/HISTORIC-ACTIVE PBS	373 S BROADWAY YONKERS NY 10705	0.21 SE	- 4	N/A
53	UST	NESS REALTY INC. W3-292400/ACTIVE PBS	86 HAMILTON AVE YONKERS NY 10705	0.21 SW	- 7	N/A
60	UST	HIGHLAND TERRACE HOUSING CORP W3-700102/HISTORIC-ACTIVE PBS	101 HIGHLAND AVE YONKERS NY 10705	0.22 NW	+ 28	N/A
60	UST	HIGHLAND TERRACE HOUSING CORP W3-800102/ACTIVE PBS	101 HIGHLAND AVE YONKERS NY 10705	0.22 NW	+ 28	N/A
58	UST	ACCURATE PLASTICS, INC. W3-800432/ACTIVE PBS	18 MORRIS PL YONKERS NY 10705	0.22 SW	- 15	N/A

Environmental FirstSearch Sites Summary Report

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

TOTAL: 216 **GEOCODED:** 160 **NON GEOCODED:** 56 **SELECTED:** 10

Map ID	DB Type	Site Name/ID/Status	Address	Dist/Dir	ElevDiff	Page No.
61	UST	SOUTH BROADWAY INC. PBS3-601184/HISTORIC-ACTIVE PBS	381 S BROADWAY YONKERS NY 10705	0.23 SE	- 6	N/A
61	UST	SOUTH BROADWAY, INC. W3-601184/ACTIVE PBS	381 S BROADWAY YONKERS NY 10705	0.23 SE	- 6	N/A
68	UST	MATAMOROS TIRE REPAIR W3-801352/ACTIVE PBS	314 NEW MAIN ST YONKERS NY 10701	0.24 NE	+ 10	N/A
62	UST	ANTHONY SPOSATO PBS3-600161/HISTORIC-ACTIVE PBS	117 LUDLOW ST YONKERS NY 10705	0.24 NW	- 51	N/A
67	UST	BARTIZAN W3-800498/UNREGULATED	217 RIVERDALE AVE YONKERS NY 10705	0.24 NW	- 52	N/A
62	UST	ANTHONY SPOSATO W3-600161/ACTIVE PBS	117 LUDLOW ST YONKERS NY 10705	0.24 NW	- 51	N/A
66	UST	308 RIVERDALE S/S INC. PBS3-600389/HISTORIC-ACTIVE PBS	308 RIVERDALE AVE YONKERS NY 10705	0.24 SW	- 43	N/A
66	UST	DOMINO TRANSPORT SERVICES W3-600389/UNREGULATED	308 RIVERDALE AVE YONKERS NY 10705	0.24 SW	- 43	N/A
73	UST	NO NAME (APARTMENT HOUSE) PBS3-448680/HISTORIC-ACTIVE PBS	153 PARK HILL AVE YONKERS NY 10705	0.25 NE	+ 188	N/A
73	UST	APARTMENT BUILDING W3-448680/ACTIVE PBS	153 PARK HILL AVE YONKERS NY 10705	0.25 NE	+ 188	N/A
75	UST	BLES REALTY LLC W3-800103/ACTIVE PBS	209 RIVERDALE AVE YONKERS NY 10705	0.25 NW	- 50	N/A
	UST	KNOWLES STREET YARD,DPW W3-505293/UNREGULATED	KNOWLES STREET Yonkers NY 10705	NON GC	N/A	N/A
	UST	SAINT BARNABAS CONVENT W3-800855/ADMIN CLOSED	1033 MCLEAN AVE Yonkers NY 10705	NON GC	N/A	N/A
	UST	SPANO FUEL OIL CORP W3-165662/UNREGULATED	FOOT OF LUDLOW ST Yonkers NY 10705	NON GC	N/A	N/A
77	VCP	CE- LUDLOW ST-YONKERS MGP V00562/VCP	KNOWLES ST YONKERS NY 10705	0.31 NW	- 52	16

Environmental FirstSearch Site Detail Report

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

BROWNFIELD

SEARCH ID: 159 **DIST/DIR:** 0.30 NW **ELEVATION:** 52 **MAP ID:** 76

NAME: 185 - 187 RIVERDALE AVE.
ADDRESS: 185 RIVERDALE AVE
YONKERS NY 10701
WESTCHESTER
CONTACT:
SOURCE: NYSDEC

REV: 4/5/12
ID1: C360074
ID2: 59028.00
STATUS: BCP
PHONE:

SITE INFORMATION

BCP = BROWNFIELD CLEANUP PROGRAM
ERP = ENVIRONMENTAL RESTORATION PROGRAM

SITE TYPE:

OPEN DUMP:	0	STRUCTURE:	0
LAGOON:	0	LANDFILL:	0
POND:	0		

SIZE (ACRES):	.850	REGION:	3
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CLASS CODE:

DESCRIPTION:

Location Description: The site is located in an urban and industrial portion of Westchester County, NY. The site is approximately one mile south from the downtown area of Yonkers. Current Use: The site has been developed as a multi-story senior housing complex. Surrounding Uses: The site is bordered to the north by an undeveloped property and Highland Avenue; to the east by Riverdale Avenue and residential apartment buildings; to the south by a commercial building and an auto body repair shop; and to the west by multi-family residences located along Hawthorne Avenue. Historical Source(s) of Contamination: Prior uses that led to site contamination include a former automobile dismantling yard, junkyard, machine shop, and commercial laundry service. Investigations/Actions Performed to Date: Completed investigations include a Preliminary Site Assessment (2003) and, under the Brownfield Cleanup Program (BCP), a Remedial Investigation (2005). An Interim Remedial Measure (IRM) was proposed and approved and the IRM (excavation and removal of contaminated soils) was initiated in late 2005. As part of the BCP remedial program, a Remedial Investigation Report, IRM Report, and Remedial Work Plan were submitted and approved. Current Actions: Remedial action is complete. The Final Engineering Report was approved and a Certificate of Completion was issued in December 2006.

ASSESSMENT OF ENVIRONMENTAL PROBLEMS:

Known SCG Exceedances: The Remedial Investigation revealed elevated concentrations for naphthalene, fluoranthene, phenanthrene, chrysene, pyrene, PCBs, arsenic, barium, chromium, and lead in the soil. The areas of contamination have been addressed by the remedial program, which was completed in 2006. More information regarding the site can be found in the documents placed in the Site Document Repositories. NYSDEC Central Office 11th floor, 625 Broadway Albany, New York 12233 Attn: Mr. Matt Hubicki 518-402-9564 Hours: M-F 8-4 (By appointment) City of Yonkers Public Library 1 Larkin Center Yonkers, New York 10701 Attn: Aurora Cruz 914-377-1500 ext 460 NYSDEC Region 3 Office 21 South Putt Corners Road New Paltz, New York 12561 Attn: Mr. Michael Knipfing Phone: (845) 256-3154 Hours: M-F, 9-4 By Appointment

ASSESSMENT OF HEALTH PROBLEMS:

Direct contact with residual contaminants in soil is not expected because the site has been covered with pavement, a building and two feet of clean soil in green areas. Exposure to site related contaminants in drinking water is not expected since homes and businesses near the site are connected to public water. Soil vapor intrusion in future buildings is not expected because volatile organic compounds are not a site related contaminant. An environmental easement will restrict the use of groundwater, require implementation of a site management plan and periodic certification that the remedy remains in place and is effective.

SITE OWNER/OPERATOR INFORMATION

185 RIVERDALE AVENUE LLC
MR. TOMMY CONNEALLY
185 RIVERDALE AVENUE SUITE 101
YONKERS NY 10701
UNITED STATES OF AMERICA

SITE OWNER/OPERATOR INFORMATION

- Continued on next page -

**Environmental FirstSearch
Site Detail Report**

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

BROWNFIELD

SEARCH ID: 159 **DIST/DIR:** 0.30 NW **ELEVATION:** 52 **MAP ID:** 76

NAME: 185 - 187 RIVERDALE AVE. ADDRESS: 185 RIVERDALE AVE YONKERS NY 10701 WESTCHESTER	REV: 4/5/12 ID1: C360074 ID2: 59028.00 STATUS: BCP PHONE:
CONTACT:	
SOURCE: NYSDEC	

COTTAGE INTERNATIONAL DEVELOPMENT GROUP
MR. TOMMY CONNEALLY
185 RIVERDALE AVENUE SUITE 101
YONKERS NY 10701
UNITED STATES OF AMERICA

SITE OWNER/OPERATOR INFORMATION

185 RIVERDALE AVENUE LLC
MR. TOMMY CONNEALLY
185 RIVERDALE AVENUE SUITE 101
YONKERS NY 10701
UNITED STATES OF AMERICA

INSTITUTIONAL AND ENGINEERING CONTROLS

CONTROL TYPE	CONTROL NAME
INST	SOIL MANAGEMENT PLAN
INST	BUILDING USE RESTRICTION
INST	LANDUSE RESTRICTION
INST	GROUND WATER USE RESTRICTION
ENG	COVER SYSTEM
INST	SITE MANAGEMENT PLAN
INST	ENVIRONMENTAL EASEMENT

WASTE MATERIALS

WASTE NAME	WASTE QUANTITY
CALCIUM	UNKNOWN
MERCURY	UNKNOWN
LEAD	UNKNOWN
IRON	UNKNOWN
BENZ(A)ANTHRACENE	UNKNOWN
CADMIUM	UNKNOWN
CHROMIUM	UNKNOWN
COPPER	UNKNOWN
BENZO(B)FLUORANTHENE	UNKNOWN
ARSENIC	UNKNOWN
BENZO(A)PYRENE	UNKNOWN
BARIUM	UNKNOWN
ZINC	UNKNOWN
NICKEL	UNKNOWN
BENZO[K]FLUORANTHENE	UNKNOWN

**Environmental FirstSearch
Site Detail Report**

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

LUST

SEARCH ID: 144 **DIST/DIR:** 0.01 NE **ELEVATION:** 95 **MAP ID:** 1

NAME: DEVA LEASING CORP.	REV: 4/5/12
ADDRESS: 13 LUDLOW ST	ID1: 9505134
YONKERS NY	ID2: 173873
WESTCHESTER	STATUS: CLOSED
CONTACT:	PHONE:
SOURCE: NY DEC	

SITE INFORMATION

SPILL DATE: 7/27/1995
DATE REPORTED: 7/27/1995
CLOSED DATE: 7/31/1995

INSP DATE:	
MATERIAL SPILLED: GASOLINE	AMOUNT SPILLED: 25 G
MATERIAL CLASS: PETROLEUM	AMOUNT RECOVERED: 0 G

RESOURCE AFFECTED

SOIL: YES	AIR: NO
INDOOR AIR: NO	GROUNDWATER: NO
SURFACE WATER: NO	DRINKING WATER: NO
SEWER: NO	IMPERVIOUS SURFACE: NO
SUBWAY: NO	UNDERGROUND UTILITIES: NO

CAUSE OF SPILL: TANK FAILURE
WATERBODY AFFECTED:
SOURCE OF SPILL: TANK TRUCK
REPORTED BY: RESPONSIBLE PARTY
REGION:
UST TRUST? YES

SPILL INVESTIGATOR: tdghiosa
SPILL CONTACT:
TELEPHONE:

SPILLER:

ADDRESS: ***Update***, ZZ
TELEPHONE:

REPORTED BY: RESPONSIBLE PARTY

LAST DEC UPDATE: 12/2/2003
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: TANK FILL BACKED UP WHILE FILLING

DEC REMARKS:

Prior to Sept, 2004 data translation this spill Lead_DEC Field was GHIOSAY

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

***Environmental FirstSearch
Site Detail Report***

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

LUST

SEARCH ID: 142	DIST/DIR: 0.02 NE	ELEVATION: 96	MAP ID: 2
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NAME: BUSINESS
ADDRESS: 7 LUDLOW ST
YONKERS NY
WESTCHESTER
CONTACT:
SOURCE: NY DEC

REV: 4/5/12
ID1: 0508586
ID2: 354197
STATUS: CLOSED
PHONE:

**Environmental FirstSearch
Site Detail Report**

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

RCRANLR

SEARCH ID: 13 **DIST/DIR:** 0.01 NE **ELEVATION:** 95 **MAP ID:** 1

NAME:	DEVA LEASING CORP	REV:	1/10/12
ADDRESS:	13 LUDLOW ST YONKERS NY 10705 WESTCHESTER	ID1:	NYR000012443
CONTACT:		ID2:	
SOURCE:	EPA	STATUS:	NLR
		PHONE:	

SITE INFORMATION

CONTACT INFORMATION:
LUDLOW ST
YONKERS NY 10703

PHONE:

OWNER NAME: RAD OIL CO
OWNER TYPE: P-PRIVATE
OPERATOR: RAD OIL CO
OPERATOR TYPE: P-PRIVATE
MAILING ADDRESS: 13 LUDLOW ST
YONKERS, NY 10703

UNIVERSE INFORMATION:

RECEIVED DATE: 01/01/2007

SUBJECT TO CORRECTIVE ACTION (SUBJCA)

SUBJCA:	N - NO
SUBJCA TSD 3004:	N - NO
SUBJCA NON TSD:	N - NO
SIGNIFICANT NON-COMPLIANCE(SNC):	N - NO
BEGINNING OF THE YEAR SNC:	
PERMIT WORKLOAD:	----
CLOSURE WORKLOAD:	----
POST CLOSURE WORKLOAD:	----
PERMITTING /CLOSURE/POST-CLOSURE PROGRESS:	----
CORRECTIVE ACTION WORKLOAD:	N - NO
GENERATOR STATUS:	N

INSTITUTIONAL CONTROL:	N-NO	ENGINEERING CONTROL:	N
HUMAN EXPOSURE:	N-NO	GW CONTROLS:	N- NO
LAND TYPE:		SHORT TERM GEN:	N
TRANS FACILITY:	N	REC WASTE FROM OFF SITE:	N
IMPORTER ACTIVITY:	N - NO	MIXED WASTE GEN:	N - NO
TRANS ACTIVITY:	N - NO	TSD ACTIVITY:	N - NO
RECYCLER ACTIVITY:	N - NO	ONSITE BURNER EXEMPT:	N - NO
FURNACE EXEMPTION:	N - NO	UNDER INJECT ACTIVITY:	N - NO
REC WASTE FROM OFF SITE:	N - NO	UNIV WASTE DEST FAC:	N
USED OIL TRANS:	N - NO	USED OIL PROCESSOR:	N - NO
USED OIL REFINER:	N - NO	USED OIL FUEL BURNER:	N - NO
UO FUEL MARKETER TO BURNER:	N	USED OIL SPEC MARKETER:	N - NO

NAIC INFORMATION

- Continued on next page -

***Environmental FirstSearch
Site Detail Report***

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

RCRANLR

SEARCH ID: 13 **DIST/DIR:** 0.01 NE **ELEVATION:** 95 **MAP ID:** 1

NAME: DEVA LEASING CORP
ADDRESS: 13 LUDLOW ST
YONKERS NY 10705
WESTCHESTER
CONTACT:
SOURCE: EPA

REV: 1/10/12
ID1: NYR000012443
ID2:
STATUS: NLR
PHONE:

ENFORCEMENT INFORMATION:

VIOLATION INFORMATION:

HAZARDOUS WASTE INFORMATION:

D001 - Ignitable waste

**Environmental FirstSearch
Site Detail Report**

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

SPILLS

SEARCH ID: 40 **DIST/DIR:** 0.01 NE **ELEVATION:** 95 **MAP ID:** 1

NAME: DEVA LEASING CORP.	REV: 4/5/12
ADDRESS: 13 LUDLOW ST	ID1: 9505134
YONKERS NY	ID2: 173873
WESTCHESTER	STATUS: CLOSED
CONTACT:	PHONE:
SOURCE: NYSDEC	

SITE INFORMATION

SPILL DATE:	7/27/1995
DATE REPORTED:	7/27/1995
CLOSED DATE:	7/31/1995
INSP DATE:	
MATERIAL SPILLED: GASOLINE	AMOUNT SPILLED: 25 G
MATERIAL CLASS: PETROLEUM	AMOUNT RECOVERED: 0 G

RESOURCE AFFECTED

SOIL: YES	AIR: NO
INDOOR AIR: NO	GROUNDWATER: NO
SURFACE WATER: NO	DRINKING WATER: NO
SEWER: NO	IMPERVIOUS SURFACE: NO
SUBWAY: NO	UNDERGROUND UTILITIES: NO

CAUSE OF SPILL:	TANK FAILURE
WATERBODY AFFECTED:	
SOURCE OF SPILL:	TANK TRUCK
REPORTED BY:	RESPONSIBLE PARTY
REGION:	
UST TRUST?	YES

SPILL INVESTIGATOR:	tdghiosa
SPILL CONTACT:	
TELEPHONE:	

SPILLER:

ADDRESS:	***Update***, ZZ
TELEPHONE:	

REPORTED BY:	RESPONSIBLE PARTY
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LAST DEC UPDATE:	12/2/2003
CLEAN UP MEET STANDARDS?	YES
PENALTY RECOMMENDED?	NO

CALLER REMARKS:	TANK FILL BACKED UP WHILE FILLING
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DEC REMARKS:

Prior to Sept, 2004 data translation this spill Lead_DEC Field was GHIOSAY

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

Environmental FirstSearch Site Detail Report

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

SPILLS

SEARCH ID: 74 **DIST/DIR:** 0.02 NE **ELEVATION:** 96 **MAP ID:** 2

NAME: VACANT COMMERCIAL ADDRESS: 7 LUDLOW ST YONKERS NY WESTCHESTER CONTACT: SOURCE: NYSDEC	REV: 4/5/12 ID1: 1010142 ID2: 443733 STATUS: ACTIVE PHONE:
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SITE INFORMATION

SPILL DATE:	12/27/2010
DATE REPORTED:	12/27/2010
CLOSED DATE:	
INSP DATE:	
MATERIAL SPILLED: UNKNOWN PETROLEUM	AMOUNT SPILLED: G
MATERIAL CLASS: PETROLEUM	AMOUNT RECOVERED: G

RESOURCE AFFECTED

SOIL: YES	AIR: NO
INDOOR AIR: NO	GROUNDWATER: NO
SURFACE WATER: NO	DRINKING WATER: NO
SEWER: NO	IMPERVIOUS SURFACE: NO
SUBWAY: NO	UNDERGROUND UTILITIES: NO

CAUSE OF SPILL:	OTHER
WATERBODY AFFECTED:	
SOURCE OF SPILL:	COMMERCIAL/INDUSTRIAL
REPORTED BY:	OTHER
REGION:	
UST TRUST?	NO

SPILL INVESTIGATOR:	TDGHIOSA
SPILL CONTACT:	RICHARD HOOKER
TELEPHONE:	(845) 452-1658

SPILLER:	UNKNOWN
ADDRESS:	RICHARD HOOKER 7-17 LUDLOW ST YONKERS, NY

REPORTED BY:	OTHER
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LAST DEC UPDATE:	12/27/2010
CLEAN UP MEET STANDARDS?	NO
PENALTY RECOMMENDED?	NO

CALLER REMARKS:	CALLER REPORTING PRODUCT IN A MONITORING WELL.
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DEC REMARKS:

12/27/10: I spoke with the caller, Richard Hooker of Eco-Systems. He states the free product found in a monitoring well was stale gasoline , and it was actually observed several months ago. He states he did not report a spill at that time because he was under the impression there was an existing open spill number assigned to the property. He discovered today the existing spill numbers are closed. Database indicates the former owner of the property was Louis Buoninfante. Spill 0142184 was reported Feb of 2005 when contamination was found in a soil boring near a gasoline dispenser. That spill was closed and referred to Spill 0508586. Spill 0508586 was reported Oct of 2005 when Royal Environmental was removing a gasoline tanks. (Mr Hooker states the information he has indicates a 4K tank was removed but there were possibly additional tanks on site) The site was PBS registered with WCDOH as 3-801293 at the time. Ground water contamination was evident and monitoring wells were installed as part of that remediation. Reports were being submitted to The Health Dept and the spill was closed in Jan of 2007. Eco-Systems was initially hired by West-Hab to conduct a Phase I site assessment. Mr Hooker states the Phase I recommended further investigation to determine if there was still contamination and/or USTs on the property. West-Hab reportedly purchased the property, and then hired Eco-Systems for a Phase II. It was during this investigation (at the end of the summer) that the free

- Continued on next page -

***Environmental FirstSearch
Site Detail Report***

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

SPILLS

SEARCH ID: 74	DIST/DIR: 0.02 NE	ELEVATION: 96	MAP ID: 2
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NAME: VACANT COMMERCIAL	REV: 4/5/12
ADDRESS: 7 LUDLOW ST	ID1: 1010142
YONKERS NY	ID2: 443733
WESTCHESTER	STATUS: ACTIVE
CONTACT:	PHONE:
SOURCE: NYSDEC	

product was observed. Mr Hooker states he located four monitoring wells on the vacant property and the central well had the free product. Eco-Systems is submitting a proposal to West-Hab for further investigation and remediation. jod 12/27/10: I spoke with Richard Hooker at Eco-Systems. He will forward report to Todd Ghiosay in White Plains. jod

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

**Environmental FirstSearch
Site Detail Report**

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

SPILLS

SEARCH ID: 21 **DIST/DIR:** 0.02 NE **ELEVATION:** 96 **MAP ID:** 2

NAME: 17 LUDLOW STREET PROJECT	REV: 4/5/12
ADDRESS: 7-17 LUDLOW ST YONKERS NY WESTCHESTER	ID1: 0412184
	ID2: 337569
CONTACT:	STATUS: CLOSED
SOURCE: NYSDEC	PHONE:

SITE INFORMATION

SPILL DATE: 2/15/2005
DATE REPORTED: 2/15/2005
CLOSED DATE: 5/4/2007

INSP DATE:
CAUSE OF SPILL: OTHER
WATERBODY AFFECTED:
SOURCE OF SPILL: COMMERCIAL/INDUSTRIAL
REPORTED BY: OTHER
REGION:
UST TRUST? NO

SPILL INVESTIGATOR: jbodee
SPILL CONTACT: PETER SUTHERLAND
TELEPHONE: (845) 534-5959

SPILLER: 17 LUDLOW STREET PROJECT
PETER SUTHERLAND
ADDRESS: 7-17 LUDLOW STREET
YONKERS, NY
TELEPHONE:

REPORTED BY: OTHER
LAST DEC UPDATE: 5/4/2007
CLEAN UP MEET STANDARDS? YES
PENALTY RECOMMENDED? NO

CALLER REMARKS: SOIL BORINGS SHOWED CONTAMINATION: GAS DISPENSER IS ON SITE AND MAY BE A UST
IN CLOSE CONTACT:

DEC REMARKS:
ALSO REPORTED AS SPILL 05-08586. NFA jod

THERE MAYBE MORE DEC REMARKS AVAILABLE, PLEASE CONTACT THE NY DEC (518) 402-9549 FOR FURTHER INFORMATION

***Environmental FirstSearch
Site Detail Report***

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

SPILLS

SEARCH ID: 36	DIST/DIR: 0.02 NE	ELEVATION: 96	MAP ID: 2
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NAME: BUSINESS
ADDRESS: 7 LUDLOW ST
YONKERS NY
WESTCHESTER
CONTACT:
SOURCE: NYSDEC

REV: 4/5/12
ID1: 0508586
ID2: 354197
STATUS: CLOSED
PHONE:

**Environmental FirstSearch
Site Detail Report**

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

UST

SEARCH ID: 87 **DIST/DIR:** 0.02 NE **ELEVATION:** 96 **MAP ID:** 2

NAME: 7 - 17 LUDLOW STREET CORP C/O LOUIS BUONINFANTE	REV: 4/1/12
ADDRESS: 7 LUDLOW ST	ID1: W3-801293
YONKERS NY 10705	ID2:
WESTCHESTER	STATUS: UNREGULATED
CONTACT:	PHONE:
SOURCE: WESTCHESTER DOH	

SITE INFORMATION

PBS NUMBER: 3-801293
SITE STATUS: UNREGULATED: <1101 GAL. PBS
GDS NUMBER:
OPERATOR:

OWNER INFORMATION:

LOUIS BUONINFANTE
2712 EAST TREMONT AVENUE
BRONX , NY 10461

TANK INFORMATION

TANK NUMBER: 1
TANK STATUS: 5. CLOSED - REMOVED
GDS NUMBER:
INSTALLED:
DATE PERM CLOSED: 10/18/2005
PRODUCT STORED:
PRODUCT STORED PERCENT:
CAPACITY: 4000
TANK LOCATION: 5. UNDERGROUND
TANK TYPE: 1. STEEL/CARBON STEEL/IRON
TANK INT PROTECTION: 0. NONE
TANK EXT PROTECTION: 0. NONE
TANK SECOND CONTAIN:
TANK LEAK DETECT: 0. NONE
OVERFILL PREVENTION: 0. NONE
PIPE LOCATION: 0. NO PIPING
PIPE TYPE: 0. NO PIPING
PIPING EXT PROTECTION: 0. NONE
PIPING LEAK DETECT:
PIPING SECOND CONTAIN:
SPILL PREVENTION: 0. NONE
DISPENSER: 0. NONE

**Environmental FirstSearch
Site Detail Report**

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

VCP

SEARCH ID: 160 **DIST/DIR:** 0.31 NW **ELEVATION:** 40 **MAP ID:** 77

NAME: CE- LUDLOW ST-YONKERS MGP
ADDRESS: KNOWLES ST
YONKERS NY 10703
WESTCHESTER
CONTACT:
SOURCE: NY DEC

REV: 4/5/12
ID1: V00562
ID2: 57099.00
STATUS: VCP
PHONE:

SITE INFORMATION

SIZE (ACRES): 1.350 **REGION:** 3

CLASS CODE:

DESCRIPTION:

Location Description: The site is located at 162 Downing Street in Yonkers, Westchester County. The site is 1.35 acres in size. Predominant Site Features: The main site features include one story concrete block structure located on the southeastern corner of the site. The southern portion of the site, where the former manufactured gas plant (MGP) and holder station structure were located, is a gravel lot. The south-central portion of the site is used for salt storage. Current Use: The site is currently used by the Yonkers Department of Public Works for salt and general storage. Historical Sources of Contamination: Prior uses that may have contaminated the site include the operation of the MGP and a gas holder station. Investigations/Actions Performed to Date: As of this update, completed investigations include a two-phase sampling and analysis program on the site and adjacent lots, performed in 1993. A site characterization was conducted on the property beginning in March 2011. A full remediation investigation work plan was approved in June 2011. Site Geology and Hydrogeology: Fill materials (sand, gravel, cobbles, cement, brick and wood) make up the first 20 feet below grade surface throughout the site. A sand layer is found below the fill and below the sand layer is a clay unit. Bedrock has not been encountered in the investigations completed to date. Groundwater on-site flows to the north/northwest.

ASSESSMENT OF ENVIRONMENTAL PROBLEMS:

Contaminants of Concern: The primary contaminants of concern at this time include benzene, ethylbenzene, toluene, xylenes, acenaphthene, benzo(a)anthracene, benzo(a)pyrene, benzo(b)fluoranthene, benzo(k)fluoranthene, chrysene, naphthalene, phenanthrene, arsenic, lead, mercury, and cyanide. Impacted Media: Investigations indicate that the on-site soil and groundwater are contaminated with the contaminants of concern. Further investigation is needed to determine if groundwater contamination exists. Known SCG Exceedances: Exceedances of standards, criteria, and guidance include copper, iron, lead, selenium, and zinc in soil. Special Resources Impacted/Threatened: There are no known special resources being impacted by the site. Significant Threat: Further investigation is needed to determine whether the site presents a significant threat to public health and/or the environment. More information regarding the site can be found in the documents placed in the Site Document Repository.

ASSESSMENT OF HEALTH PROBLEMS:

DOH has insufficient information to evaluate the potential for human exposures.

SITE OWNER/OPERATOR INFORMATION

CONSOLIDATED EDISON CO OF NY.,INC.

4 IRVING PLACE
NY NY 10003
UNITED STATES OF AMERICA

SITE OWNER/OPERATOR INFORMATION

YONKERS DEPT OF PUBLIC WORKS

YONKERS CITY HALL RM 311/40 BROADWAY
YONKERS NY
UNITED STATES OF AMERICA

WASTE MATERIALS

WASTE NAME	WASTE QUANTITY
COAL TAR	UNKNOWN

- Continued on next page -

***Environmental FirstSearch
Site Detail Report***

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

VCP

SEARCH ID: 160	DIST/DIR: 0.31 NW	ELEVATION: 40	MAP ID: 77
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NAME: CE- LUDLOW ST-YONKERS MGP
ADDRESS: KNOWLES ST
YONKERS NY 10703
WESTCHESTER

REV: 4/5/12
ID1: V00562
ID2: 57099.00
STATUS: VCP
PHONE:

CONTACT:
SOURCE: NY DEC

Environmental FirstSearch
Street Name Report for Streets within .25 Mile(s) of Target Property

Target Property: 17 LUDLOW ST
YONKERS NY 10705

JOB: WY07054.10U2

Street Name	Dist/Dir	Street Name	Dist/Dir
Alta Ave	0.20 NE		
Astor Pl	0.24 NE		
Bright Pl	0.18 NE		
Caroline Ave	0.16 NW		
Cedar Pl	0.05 NE		
Cliff Ave	0.25 SW		
Downing St	0.23 NW		
Elliott Ave	0.14 SE		
Groshon Ave	0.22 NW		
Hamilton Ave	0.03 SW		
Highland Ave	0.05 NE		
Highland Pl	0.07 NW		
Hillside Dr	0.24 SE		
Jackson St	0.24 NW		
Knowles St	0.19 NW		
Lakeside Dr	0.22 SE		
Livingston Ave	0.10 SW		
Ludlow St	0.01 S-		
McLean Ave	0.22 SE		
Morris Pl	0.15 SW		
Morris St	0.13 SW		
New Main St	0.20 NE		
Overcliff St	0.17 SE		
Park Hill Ter	0.14 SE		
Pier St	0.19 SW		
Post St	0.25 SW		
Purser Pl	0.24 SW		
Riverdale Ave	0.18 NW		
Robbins Pl	0.19 N-		
Rose Ln	0.20 NE		
S Broadway	0.08 SE		
S Waverly St	0.23 NE		
School St	0.20 NE		
Stanley Ave	0.14 NW		
Stanley Pl	0.14 NW		
Undercliff St	0.12 NE		
United States Highwa	0.08 SE		



Environmental FirstSearch

1 Mile Radius

ASTM Map: NPL, RCRA COR, STATE Sites

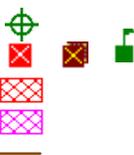


17 LUDLOW ST, YONKERS NY 10705



Source: 2005 U.S. Census TIGER Files

- Target Site (Latitude: 40.923767 Longitude: -73.896827)
- Identified Site, Multiple Sites, Receptor
- NPL, DELNPL, Brownfield, Solid Waste Landfill (SWL), Hazardous Waste
- Triballand.....
- Railroads
- Black Rings Represent 1/4 Mile Radius; Red Ring Represents 500 ft. Radius





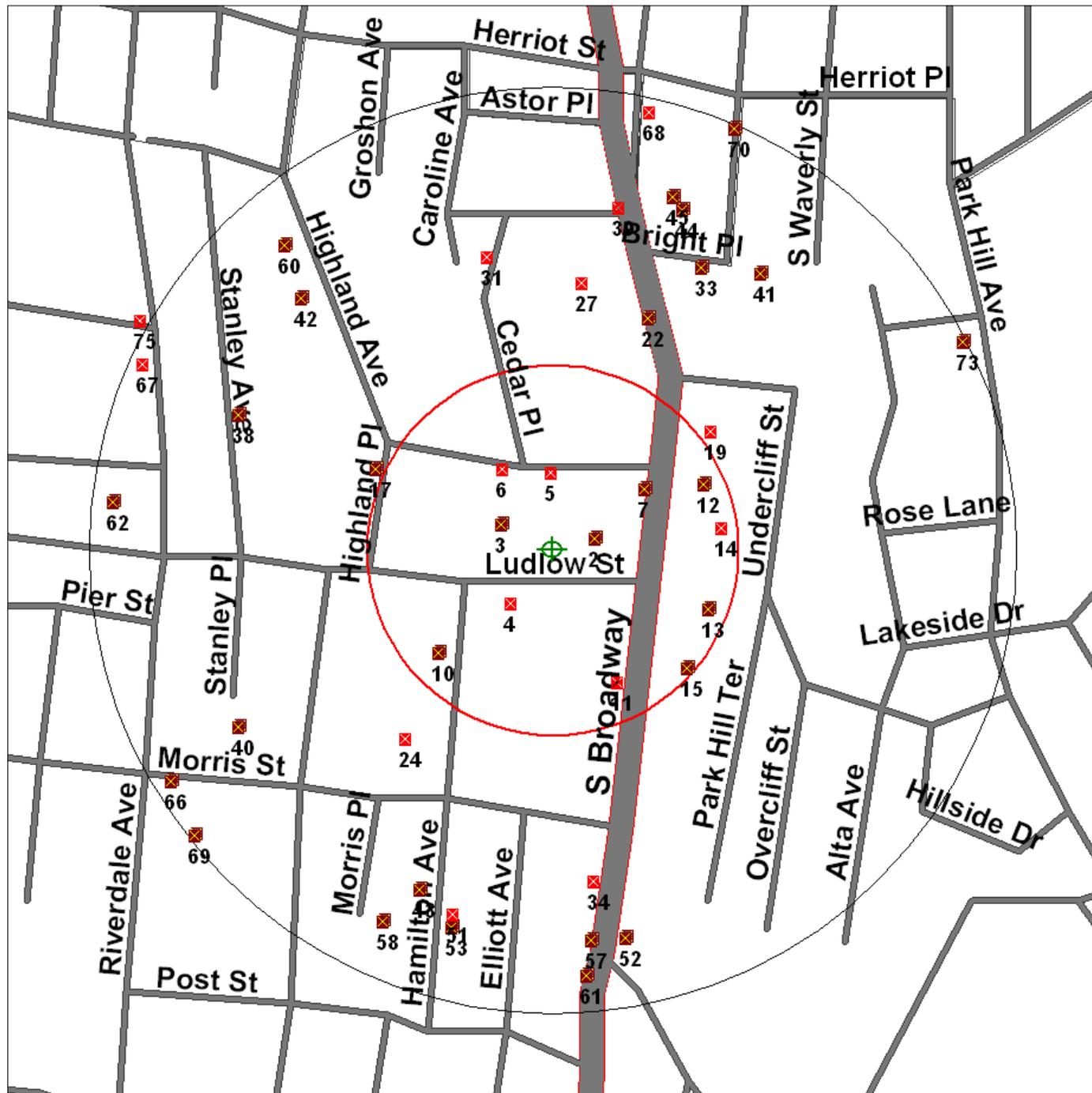
Environmental FirstSearch

.25 Mile Radius

ASTM Map: RC RAGEN, ERNS, UST, FED IC/EC, METH LABS



17 LUDLOW ST, YONKERS NY 10705



Source: 2005 U.S. Census TIGER Files

Target Site (Latitude: 40.923767 Longitude: -73.896827)

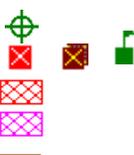
Identified Site, Multiple Sites, Receptor

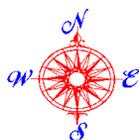
NPL, DELNPL, Brownfield, Solid Waste Landfill (SWL), Hazardous Waste

Triballand.....

Railroads

Black Rings Represent 1/4 Mile Radius; Red Ring Represents 500 ft. Radius



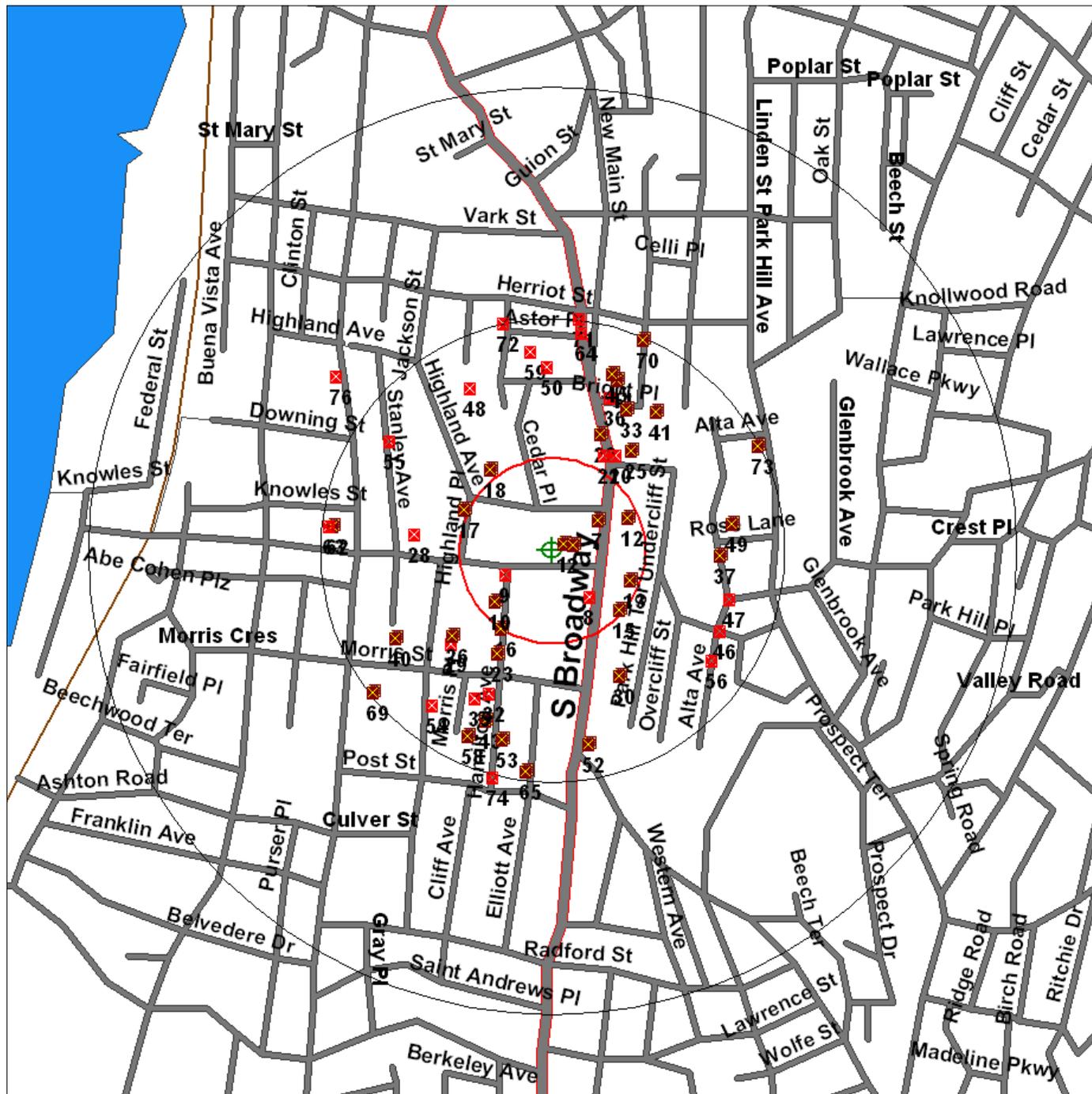


Environmental FirstSearch

.5 Mile Radius
Non-ASTM Map: Multiple Databases



17 LUDLOW ST, YONKERS NY 10705



Source: 2005 U.S. Census TIGER Files

- Target Site (Latitude: 40.923767 Longitude: -73.896827)
- Identified Site, Multiple Sites, Receptor
- NPL, DELNPL, Brownfield, Solid Waste Landfill (SWL), Hazardous Waste
- Triballand.....
- National Historic Sites and Landmark Sites
- Railroads
- Black Rings Represent 1/4 Mile Radius; Red Ring Represents 500 ft. Radius





Ecosystems Strategies, Inc.

APPENDIX F

Interview Documentation



Ecosystems Strategies, Inc.

APPENDIX G

Qualifications of Environmental Professional(s) & Personnel Conducting Inspection/Interviews

Paul H. Ciminello, CEM, CAQS

PRESIDENT

paul@ecosystemsstrategies.com

EDUCATION

Master of Environmental Management, 1986
School of the Environment, Duke University, Durham, NC

Master of Arts in Public Policy Sciences, 1986
Institute of Policy Sciences and Public Affairs, Duke University, Durham, NC

Bachelor of Arts, 1980
Tufts University, Medford, MA

CERTIFICATIONS AND TRAINING

Certified Environmental Manager, Environmental Assessment Association, 2006
Certified Air Quality Specialist, Environmental Assessment Association, 2007
NJ Dept. of Environmental Protection Licensed Subsurface Evaluator (License Number: 0014686)
NYS Dept. of Labor Certified Asbestos Building Inspector (Cert. Number: AH92-14884)
NYS Department of State, Division of Licensing Services, Real Estate Instructor
In compliance with OSHA Hazardous Materials Safety (29 CFR 1910) requirements

PROFESSIONAL EXPERIENCE

President, Ecosystems Strategies, Inc., Poughkeepsie, New York *1992 to present*

Coordinates corporate strategic planning, financial management and marketing activities. Oversees corporate work on state and federal superfund sites and manages education/training services. Responsible for technical services in areas of pollution prevention, contaminant delineation and site remediation. Twenty years experience in the investigation and remediation of petroleum contamination at commercial and residential properties. Major recent projects of relevance include:

- Irvington Waterfront Park (Irvington, NY): Project Manager for site investigation and remedial design of abandoned industrial riverfront properties. Documented soil and groundwater contamination and designed remediation including soil removal and site capping. Project completed in 2000; project awarded the 2000 Gold Medal Award by Consulting Engineers Council of New York State.
- Greyston Bakery Site (Yonkers, NY): Project Manager for site investigation and remedial design of former manufactured gas plant site for future use as a bakery. Documented soil, groundwater and soil gas contamination. Remedial systems included installations of a DNAPL collection system, a barrier layer, a subslab depressurization system under the building, and groundwater monitoring. Project completed in 2004.

- 400 Block Redevelopment (Poughkeepsie, NY): Project Manager for site investigation and remedial design of multi-use industrial development property (boiler repair, clothing manufacturer, auto repair) for future retail/residential use. Documented soil (petroleum, PCBs, metals) and groundwater (petroleum) contamination. Remedial systems include: soil (and tank) removal, installation of a barrier, and groundwater monitoring. Project completed in 2006.
- Parkview Commons Site (Bronx, NY): Project Manager for site investigation and remedial design of former gas station/auto repair facility for future use as a residential/commercial building. Remedial investigation and design is currently on-going. Project completed in 2006.

Senior Hazardous Waste Specialist, U.S. Hydrogeologic, Inc., Poughkeepsie, New York 1986
to 1992

Supervisor for corporate hazardous and solid waste investigatory and remedial services.

Major projects included:

- Coordination of subsurface investigations at a New York State Superfund site (former industrial facility); project manager in charge of site reclassification (delisted as of January, 1991).
- Coordination of petroleum storage tank management plan for Dutchess County (NY) Department of Public Works, including an assessment of regulatory compliance, product utilization and physical conditions of more than 100 tanks at over 20 facilities.
- Environmental compliance Audit of 42,000-square foot printing facility with specific remediations for solvent handling/disposal, inks storage and metal recovery processes.

Adjunct Professor, (various institutions) 1991 to Present

Dutchess Community College, Poughkeepsie, New York

Marist College, Poughkeepsie, New York

Vassar College, Poughkeepsie, New York

Courses: Macroeconomics, Environmental Economics (DCC)

Introduction to Environmental Issues (Marist)

Environmental Geology (Vassar)

Policy Intern, Southern Growth Policies Board, North Carolina 1985

Prepared several in-depth and short analyses of environmental and economic issues, with specific concern for their impact on Southern state policies. Analyses included: hazardous waste facility setting policies and environmental impacts of "high tech" industries on host communities.

Research Assistant, University of Oregon, Eugene, Oregon

1983

Analyzed (with Dr. John Baldwin, Chairman of the Department of Planning, Public Policy and Management, U. of Oregon) the "Oregon Riparian Tax Incentive Program". Designed survey, conducted interviews and analyzed data. Summary paper with programmatic recommendations, was presented at the Annual Conference of the National Association of Environmental Educators.

PRESENTATIONS

- "Environmental Risks in Lending" Training Session for Pawling Savings Bank employees, December 18 and 19, 1989; and July 1, 1993.
- "Identifying Environmental Concerns in Appraisals", Workshops for Lakewood Appraisal Corporation, October, and November, 1989 and April, 1990.
- "State and Local Groundwater Protection Strategies", Annual meeting of the New York State Association of Towns, February, 1990.
- "Environmental Audits on Orchards and Agricultural Properties", Resource Education Institute, Inc., Real Estate Site Assessment and Environmental Audits Conference, December 4, 1990.
- "Environmental Audits on Orchards and Agricultural Properties", National Water Well Association Annual Conference, July 29-31, 1991.
- "Principles of Environmental Economics for Ground Water Professionals", National Groundwater Association Outdoor Action Conference, May 27, 1993.
- "Impact of Environmental Liabilities on Real Estate Transactions", a NYS Department of Education approved course for licensed real estate professionals, March 1995; April 1995; May 1995; October 1995.
- "Brownfields Redevelopment in New York: A Discussion of Two Case Studies", New England Environmental Conference 1996, March, 1996.
- "Quantifying Environmental Liabilities", a NYS Department of Education approved course for licensed real estate professionals, March 1997.
- "Environmental Assessments in Urban Settings", Vassar College, Fall 1999 and Fall 2000.
- "Navigating Property Contaminant Problems", Land Trust Alliance Rally 2001, Oct 2001

ARTICLES

Ciminello, P. 1993. A Primer on Petroleum Bulk Storage Tanks and Petroleum Contamination of Property, ASHI Technical Journal, Volume 3, No. 1

Ciminello, P. 1991. Environmental Audits on Orchard and Other Agricultural Properties, Proceedings of the National Water Well Association Annual Conference

Ciminello, P. 1991. Property Managers Should Carefully Examine Current Fuel Storage Practices, NYS Real Estate Journal, Vol. 3, No. 9

Ciminello, P. 1991. New DEC Regulations Affect Development of Agricultural Lands, NYS Real Estate Journal, Vol. 3, No. 6

Ciminello, P., Hodges-Copple, J. 1986. Managing Toxic Risks From High Tech Manufacturing, Growth and Environmental Management Series (Southern Growth Policies Board)

Ciminello, P. 1986. State Assistance in Financing Water Treatment Facilities, Growth and Environmental Management Series (Southern Growth Policies Board)

Ciminello, P. 1985. Plants Amid Plantings: The Future Role of Environmental Factors in Business Climate Ratings, Southern Growth ALERT (Southern Growth Policies Board)

Ciminello, P., J. Baldwin, N. Duhnkrack, 1984, An Incentive Approach to Riparian Lands Conservation, Monographs in Environmental Education and Environmental Studies (North American Association of Environmental Educators)

PROFESSIONAL AFFILIATIONS

*American Water Resources Association
National Groundwater Association
Hazardous Materials Control Research Institute
Environmental Assessment Association*

ADDITIONAL INFORMATION

*Member, Dutchess County (NY) Youth Board (1987-1992); Chairman, 1992
Member, City of Poughkeepsie (NY) School District Ad Hoc Committee on Teen Parents and Pregnancy Prevention (1991)
Member, City of Poughkeepsie School District Budget Advisory Committee (1994 to 2000)
Member, City of Poughkeepsie PTA and Middle School Building Level Team*



Kimberly Punchar

Director of Environmental Investigations

Kimberly@ecosystemsstrategies.com

EDUCATION

Marist College, Poughkeepsie, New York
Bachelor of Science in Environmental Science

CERTIFICATIONS AND TRAINING

- Permit Required Confined Space Training Competencies; Attendant, Entrant, Entry Supervisor [Title 29 CFR Part 1910.146(g)(1)]
- Completed EA Engineering, Science and Technology Project Managers Training
- Excellent interpersonal, customer, research & analysis and decision-making skills
- Completed Hydric Soils and Methodology for Delineating Wetlands continuing education courses and received Rutgers' University Wetland Delineator Program Certification.
- Licensed New York State Wildlife Rehabilitator

PROFESSIONAL EXPERIENCE

Director of Environmental Investigations,

Ecosystems Strategies, Inc., (ESI) Poughkeepsie, New York

Present

Management and quality review of environmental site assessments and Phase II technical environmental investigations, and remedial projects including Brownfield sites. Conducts research to obtain field and regulatory information about the environmental status of a designated area. Reviews all documents prepared by ESI to ensure consistency and technical accuracy. Responsibilities associated with the preparation of site assessments include: investigating site histories, conducting facility inspections, reviewing regulatory agency records, documenting facility compliance with relevant State and Federal regulations, and preparing reports. Management of complex technical environmental investigations (including sites currently on the NYSDEC Registry of Inactive Hazardous Waste Sites), involved with: coordinating subcontractors; overseeing fieldwork; designing and implementing material, soil, and water sampling plans, preparing technical reports, and interfacing with regulatory agency personnel.

Director of Office & Environmental Services, Associate Environmental Scientist/Project Manager, Spectra Environmental Group, Inc., Spectra Engineering, Architecture & Surveying, PC.

Poughkeepsie, New York

2003 – 2011

- **Management** - Supervised a team of up to 15 Environmental, Engineering and Surveying professionals who managed projects with values that exceeded \$1,000,000 or more (e.g. large subdivisions, industrial engineering – asphalt plant relocation design).
- **Petroleum/Chemical** - Extensive experience with Petroleum Bulk Storage Regulations (PBS – Title 6 NYCRR Parts 612-614), Spill Prevention Control and Countermeasure plan development (SPCC – Title 40 CFR Part 112), Chemical Bulk Storage Regulations (CBS – Title 6 NYCRR Parts 595-599), Spill Prevention Report (SPR) development and Emergency Response Plan development. Completed PBS and CBS storage tank inspections and conducted secondary containment (soil) permeability testing at an MOSF facility.
- **Stormwater/SPDES** - Developed and managed the preparation of Stormwater Pollution Prevention Plans (SWPPP) in accordance with Section 402 of the Clean Water Act for stormwater discharges from numerous industrial facilities. Prepared Annual Certification Reports and Discharge Monitoring Reports.
- **Phase I** - Prepared and managed numerous Phase I Environmental Site Assessments (ESAs) for various residential, commercial and industrial sites to assess the presence or absence of recognizable environmental conditions. Prepared reports that summarized the findings and which provided recommendations with related cost estimates for additional sampling/investigative work, as appropriate.
- **Phase II** - Managed numerous Phase II Environmental Site Investigations as a result of Phase I ESA findings, petroleum and chemical spills and leaking underground storage tanks. Performed soil and ground-water monitoring and landfill investigation oversight. Prepared reports based on field monitoring/sampling data; which provided recommendations for cleanup/remediation with related cost estimates, as appropriate.
- **Phase III** - Managed numerous Phase III Remediation projects involving the cleanup of petroleum contaminated soil and groundwater, including the cleanup of a mercury spill. Prepared reports that summarized cleanup/remedial activities and which provided recommendations for spill closure or additional long-term monitoring (with related cost estimates, as appropriate).
- **LTM/Spill Closure** - Developed Long-Term Monitoring Plans and Spill Closure Reports that describe a site's history, outline regulatory requirements, and define the monitoring/reporting program and/or spill cleanup activities completed for various commercial/industrial facilities.
- **Solid Waste** - Developed solid waste management facility operation and maintenance manuals which include a general operating plan, a staffing plan, a personnel training plan, a waste control plan, a contingency plan and a closure plan in accordance with Title 6 NYCRR Part 360.
- **Training/Presentations** - Developed training programs for SPCC/ SWPPP and conducted annual training classes for various industrial facilities.

- **SEQRA** - Prepared Environmental Assessment Forms (EAFs), developed Scoping Documents and Environmental Impact Statements (EIS) in accordance with the State Environmental Quality Review Act (SEQR).
- **Health & Safety** - Prepared work plans; sampling plans; quality assurance project plans; and safety and health, and emergency response plans for working at hazardous sites.
- **Mentoring** - Mentored junior staff with regard to conducting Phase I ESAs, Phase II investigation work, Phase III remediation/cleanup and environmental compliance auditing for PBS, CBS and Stormwater Pollution Prevention.

Environmental Scientist/Project Manager
Ea Engineering, Science And Technology,
Newburgh, New York

1999 – 2003

- **Management** - Independently managed projects, provided support to secure multiple long-term contracts, and developed significant company proposals under an existing term contract. Developed Project Number Request Budgets, reviewed project pre-bill charges and prepared invoice spreadsheets for multiple projects awarded under a long-term environmental service term contract with a New York State Agency. Successfully managed company resources with respect to staff allocation, maximizing equipment usage recovery, demonstrating cost savings/innovations, meeting project milestones with respect to scheduling field events, personnel and deliverables, and performing subcontractor procurement.
- **Mentoring** - Served as a supervisor for multiple people and mentored junior staff.
- **Petroleum/Chemical** - Extensive experience with PBS (Title 6 NYCRR Parts 612-614) and Chemical Bulk Storage (CBS – Title 6 NYCRR Part 595-599) management, SPR development (Title 6 NYCRR Part 598), and SPCC (Title 40 CFR Part 112) plan development and training.
- **Solid Waste** - Performed oversight for various landfill investigations and ground-water contamination investigations in accordance with 6 NYCRR Part 360.
- **Health & Safety** - Developed work plans and safety and health plans for various environmental investigations as required.
- **Phase I & II** - Conducted a Phase I ESA and a Phase II Environmental Site Investigation for a 62+ acre parcel in order to identify areas of environmental concern and to determine if further removal or cleanup actions were necessary. Developed and implemented a long-term monitoring / spill closure plan for a local state facility. Provided oversight for the operation and maintenance of a soil vapor extraction system.
- **Pollution Prevention** - Updated a Pollution Prevention Plan for a Naval Base.
- **Stormwater** - Developed SWPP plans in accordance with Section 402 of the Clean Water Act for stormwater discharges from construction activities that disturb one or more acres of land (Phase II).

- **ISO** - Assisted with Environmental Management System, ISO 14001, 9001/2, and OHSAS 18001 research for a renowned pharmaceutical company.

Environmental Scientist

*Lawler, Matusky And Skelly Engineers,
Wappingers Falls, New York*

1994 – 1999

- **Engineering Support** - Provided engineering support to comply with State, Federal, and Corporate regulations/requirements for industrial facilities.
- **Petroleum/Chemical** - Experienced with New York State PBS regulations Title 6 NYCRR Part 612 – 614. Experienced with New York State CBS regulations Title 6 NYCRR Part 595 – 599 and in the development of SPRs. Experienced in the interpretation and development of Federal SPCC Plans and Facility Response Plans (FRPs) in accordance with Title 40 CFR Part 112.
- **RCRA** - Assisted with Resource Conservation Recovery Act (RCRA) third party auditing.
- **SPDES** - Experienced with State Pollutant Discharge Elimination System (SPDES) sampling, preparation of discharge monitoring reports and flow meter calibration verification.



Ecosystems Strategies, Inc.

APPENDIX H

Asbestos Bulk Sampling Report

S & B Environmental, LLC
7 Fairchild Road
Newtown, CT. 06470

ASBESTOS BULK SAMPLING REPORT

For

Westhab, Inc.
85 Executive Boulevard
Elmsford, New York 10523

At

7 - 17 Ludlow Street
Yonkers, New York 10705

Final Report

Dates of Project: 28 April 2011
Date of Report: 4 May 2011

Field work performed by:
Vernon C. Rohde II

Introduction:

At the request of Mr. Chu, of Westhab Inc., S & B's representative, conducted a pre demolition survey of the two structures located at 7-17 Ludlow Street, Yonkers, New York. This survey included bulk sampling of all suspect building materials in the two buildings for the determination of asbestos content. The property contained a one story structure on one side, and a two story structure on the other side of the property.

Summary:

Seventy two bulk samples were collected from the various building components in the buildings on this property. The following samples were collected as part of this survey:

One Story Building

- Gypsum wallboard
- Joint compound
- Lay-in ceiling tiles (various types)
- 12" floor tiles
- Floor tile mastic
- Cove molding
- Cove mastic
- Roof shingles
- Window glazing
- Brick
- Brick mortar
- Flat roofing**
- Roof flashing**

Two Story Structure

- Gypsum wallboard
- Joint compound
- Ceramic Mastic
- Lay-in ceiling tiles (various types)
- 12" floor tiles
- Floor tile mastic
- Tile under Linoleum/carpeting
- Linoleum
- Cove molding
- Cove mastic
- Window caulking
- Window glazing white windows
- Window glazing brown windows
- Tar waterproofing on walls
- Black on Stairs

CMU block
Block mortar

All asbestos samples were submitted to Amerisci Laboratories in New York City. The flat roofing and the roof flashing on the one story building was found to contain asbestos. No roof samples were collected on the two story building, so that roof will have to be assumed to contained asbestos unless further testing is done. Given the age of the building, and the fact that asbestos was found in the roof of the other building, it is very likely that the roof of this building does contain asbestos.

The other materials in these buildings were all found to be negative for asbestos.

Prior to undertaking the demolition, or any renovation work in these buildings, the owner of the property is required to submit a copy of this report to the local building department who will issue any building permits for the project, and the Asbestos Control Bureau in Albany. The Asbestos Control Bureau address is:

*Asbestos Control Bureau
One Hudson Square
75 Varick Street (7th Floor)
New York, New York 10013*

The phone number for the Asbestos Control Bureau is (212) 775-3532.

Conclusions:

Asbestos was found to be present in the roofing of the small building, and assumed to be present in the roof of the larger building. Both of these materials will have to be removed by a licensed asbestos contractor prior to any demolition of these buildings.

S & B Environmental, LLC
7 Fairchild Road
Newtown, CT. 06470

ASBESTOS BULK SAMPLING REPORT

For

Westhab, Inc.
85 Executive Boulevard
Elmsford, New York 10523

At

7 - 17 Ludlow Street
Yonkers, New York 10705

Final Report

Laboratory Data Sheets - Asbestos



AmeriSci New York

117 EAST 30TH ST.
NEW YORK, NY 10016
TEL: (212) 679-8600 • FAX: (212) 679-3114

PLM Bulk Asbestos Report

S&B Environmental
Attn: Vernon Rohde
7 Fairchild Drive

Newtown, CT 06470

Date Received 04/29/11 **AmeriSci Job #** 211045086
Date Examined 05/03/11 **P.O. #**
ELAP # 11480 **Page** 1 of 8
RE: Westhab, Inc.; 7-17 Ludlow Street, Yonkers, NY 10705

Client No. / HGA	Lab No.	Asbestos Present	Total % Asbestos
1 Location: Gypsum Wallboard Analyst Description: White, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Cellulose Trace, Non-fibrous 100 %	211045086-01	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
2 Location: Gypsum Wallboard Analyst Description: White, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Cellulose Trace, Non-fibrous 100 %	211045086-02	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
3 Location: Gypsum Wallboard Analyst Description: White, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Cellulose 2 %, Non-fibrous 98 %	211045086-03	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
4 Location: Joint Compound Analyst Description: White, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 100 %	211045086-04	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
5 Location: Joint Compound Analyst Description: White, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 100 %	211045086-05	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11

See Reporting notes on last page

PLM Bulk Asbestos Report

Westhab, Inc.; 7-17 Ludlow Street, Yonkers, NY 10705

Client No. / HGA	Lab No.	Asbestos Present	Total % Asbestos
6 Location: Joint Compound	211045086-06	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
Analyst Description: White, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 100 %			
7 Location: Ceramic Mastic	211045086-07	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Beige, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 3.3 %			
8 Location: Ceramic Mastic	211045086-08	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Beige, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 13.2 %			
9 Location: Ceiling Tile	211045086-09	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 13.9 %			
10 Location: Ceiling Tile	211045086-10	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 34.6 %			
11 Location: Ceiling Tile	211045086-11	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 52.6 %			

PLM Bulk Asbestos Report

Westhab, Inc.; 7-17 Ludlow Street, Yonkers, NY 10705

Client No. / HGA	Lab No.	Asbestos Present	Total % Asbestos
12 Location: Ceiling Tile	211045086-12	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 51.9 %			
13 Location: 12" Floor Tile, Bath Area 2nd Fl.	211045086-13	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Dark Grey, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 3.2 %			
14 Location: 12" Floor Tile, Bath Area 2nd Fl.	211045086-14	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Dark Grey, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 5.9 %			
15 Location: Floor Tile Mastic, Bath Area 2nd Fl.	211045086-15	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 2.1 %			
16 Location: Floor Tile Mastic, Bath Area 2nd Fl.	211045086-16	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 1.4 %			
17 Location: Tile, Under Linoleum/ Carpet	211045086-17	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 3.1 %			

See Reporting notes on last page

PLM Bulk Asbestos Report

Westhab, Inc.; 7-17 Ludlow Street, Yonkers, NY 10705

Client No. / HGA	Lab No.	Asbestos Present	Total % Asbestos
18 Location: Tile, Under Linoleum/ Carpet	211045086-18	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 2.9 %			
19 Location: Linoleum	211045086-19	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: White, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 10.8 %			
20 Location: Linoleum	211045086-20	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: White, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 26.4 %			
21 Location: Cove Molding	211045086-21	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Tan, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 1.6 %			
22 Location: Cove Molding	211045086-22	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Tan, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 2.1 %			
23 Location: Cove Molding	211045086-23	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Tan, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 31.7 %			

See Reporting notes on last page

PLM Bulk Asbestos Report

Westhab, Inc.; 7-17 Ludlow Street, Yonkers, NY 10705

Client No. / HGA	Lab No.	Asbestos Present	Total % Asbestos
24 Location: Cove Molding	211045086-24	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Beige, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 35.1 %			
25 Location: Window Caulking, White Windows	211045086-25	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: White, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 13.9 %			
26 Location: Window Caulking, White Windows	211045086-26	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: White, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 12.2 %			
27 Location: Window Glazing, White Windows	211045086-27	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: White, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 1.1 %			
28 Location: Window Glazing, White Windows	211045086-28	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: White, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 2.3 %			
29 Location: Window Glazing, Brown Windows	211045086-29	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Black, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 2 %			

See Reporting notes on last page

PLM Bulk Asbestos Report

Westhab, Inc.; 7-17 Ludlow Street, Yonkers, NY 10705

Client No. / HGA	Lab No.	Asbestos Present	Total % Asbestos
30 Location: Window Glazing, Brown Windows Analyst Description: Black, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 3 %	211045086-30	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
31 Location: Tar On Wall Analyst Description: Black, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 63.9 %	211045086-31	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
32 Location: Tar On Wall Analyst Description: Black, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 58.1 %	211045086-32	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
33 Location: Black On Stairs Analyst Description: Black, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 22.3 %	211045086-33	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
34 Location: Black On Stairs Analyst Description: Black, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 7.7 %	211045086-34	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
35 Location: CMU Block Analyst Description: Grey, Homogeneous, Non-Fibrous, Cementitious, Bulk Material Asbestos Types: Other Material: Non-fibrous 100 %	211045086-35	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11

See Reporting notes on last page

PLM Bulk Asbestos Report

Westhab, Inc.; 7-17 Ludlow Street, Yonkers, NY 10705

Client No. / HGA	Lab No.	Asbestos Present	Total % Asbestos
36 Location: CMU Block	211045086-36	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Cementitious, Bulk Material Asbestos Types: Other Material: Non-fibrous 100 %			
37 Location: CMU Block	211045086-37	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Cementitious, Bulk Material Asbestos Types: Other Material: Non-fibrous 100 %			
38 Location: CMU Mortar	211045086-38	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Cementitious, Bulk Material Asbestos Types: Other Material: Non-fibrous 100 %			
39 Location: CMU Mortar	211045086-39	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Cementitious, Bulk Material Asbestos Types: Other Material: Non-fibrous 100 %			
40 Location: CMU Mortar	211045086-40	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Cementitious, Bulk Material Asbestos Types: Other Material: Non-fibrous 100 %			

Table 1
Summary of Bulk Asbestos Analysis Results
 Westhab, Inc.; 7-17 Ludlow Street, Yonkers, NY 10705

AmeriSci Sample #	Client Sample#	HG Area	Sample Weight (gram)	Heat Sensitive Organic %	Acid Soluble Inorganic %	Insoluble Non-Asbestos Inorganic %	** Asbestos % by PLM/DS	** Asbestos % by TEM
01	1						NAD	NA
	Location: Gypsum Wallboard							
02	2						NAD	NA
	Location: Gypsum Wallboard							
03	3						NAD	NA
	Location: Gypsum Wallboard							
04	4						NAD	NA
	Location: Joint Compound							
05	5						NAD	NA
	Location: Joint Compound							
06	6						NAD	NA
	Location: Joint Compound							
07	7		0.209	18.7	78.0	3.2	NAD	Chrysotile Trace
	Location: Ceramic Mastic							
08	8		0.228	23.2	63.6	13.1	NAD	Chrysotile Trace
	Location: Ceramic Mastic							
09	9		1.039	69.9	16.3	13.9	NAD	NAD
	Location: Ceiling Tile							
10	10		0.289	29.4	36.0	34.6	NAD	NAD
	Location: Ceiling Tile							
11	11		0.272	29.0	18.4	52.6	NAD	NAD
	Location: Ceiling Tile							
12	12		0.283	26.5	21.6	51.9	NAD	NAD
	Location: Ceiling Tile							
13	13		0.880	7.4	89.4	3.2	NAD	NAD
	Location: 12" Floor Tile, Bath Area 2nd Fl.							
14	14		0.321	15.6	78.5	5.9	NAD	NAD
	Location: 12" Floor Tile, Bath Area 2nd Fl.							
15	15		0.376	41.8	56.1	2.1	NAD	NAD
	Location: Floor Tile Mastic, Bath Area 2nd Fl.							
16	16		0.354	40.4	58.2	1.4	NAD	NAD
	Location: Floor Tile Mastic, Bath Area 2nd Fl.							

See Reporting notes on last page

Table I
Summary of Bulk Asbestos Analysis Results
 Westhab, Inc.; 7-17 Ludlow Street, Yonkers, NY 10705

AmeriSci Sample #	Client Sample#	HG Area	Sample Weight (gram)	Heat Sensitive Organic %	Acid Soluble Inorganic %	Insoluble Non-Asbestos Inorganic %	** Asbestos % by PLM/DS	** Asbestos % by TEM
17	17		0.355	15.5	81.4	3.1	NAD	NAD
	Location: Tile, Under Linoleum/ Carpet							
18	18		0.276	15.2	81.9	2.9	NAD	NAD
	Location: Tile, Under Linoleum/ Carpet							
19	19		0.176	86.9	2.3	10.8	NAD	NAD
	Location: Linoleum							
20	20		0.276	71.7	1.8	26.4	NAD	NAD
	Location: Linoleum							
21	21		0.124	52.4	46.0	1.5	NAD	Chrysotile Trace
	Location: Cove Molding							
22	22		0.145	52.4	45.5	2.0	NAD	Chrysotile Trace
	Location: Cove Molding							
23	23		0.101	43.6	24.8	31.7	NAD	NAD
	Location: Cove Molding							
24	24		0.316	38.9	25.9	35.1	NAD	NAD
	Location: Cove Molding							
25	25		0.266	25.9	60.2	13.9	NAD	NAD
	Location: Window Caulking, White Windows							
26	26		0.189	27.5	60.3	12.2	NAD	NAD
	Location: Window Caulking, White Windows							
27	27		0.266	62.0	36.8	1.1	NAD	NAD
	Location: Window Glazing, White Windows							
28	28		0.298	61.4	36.2	2.3	NAD	NAD
	Location: Window Glazing, White Windows							
29	29		0.152	68.4	29.6	2.0	NAD	NAD
	Location: Window Glazing, Brown Windows							
30	30		0.233	69.5	27.5	3.0	NAD	NAD
	Location: Window Glazing, Brown Windows							
31	31		0.294	15.6	20.4	63.9	NAD	NAD
	Location: Tar On Wall							
32	32		0.365	29.6	12.3	58.1	NAD	NAD
	Location: Tar On Wall							

See Reporting notes on last page

Table I
Summary of Bulk Asbestos Analysis Results
 Westhab, Inc.; 7-17 Ludlow Street, Yonkers, NY 10705

AmeriSci Sample #	Client Sample#	HG Area	Sample Weight (gram)	Heat Sensitive Organic %	Acid Soluble Inorganic %	Insoluble Non-Asbestos Inorganic %	** Asbestos % by PLM/DS	** Asbestos % by TEM
33	33		0.867	25.5	52.2	22.3	NAD	NAD
	Location: Black On Stairs							
34	34		0.621	31.2	61.0	7.7	NAD	NAD
	Location: Black On Stairs							
35	35		---	---	---	---	NAD	NA
	Location: CMU Block							
36	36		---	---	---	---	NAD	NA
	Location: CMU Block							
37	37		---	---	---	---	NAD	NA
	Location: CMU Block							
38	38		---	---	---	---	NAD	NA
	Location: CMU Mortar							
39	39		---	---	---	---	NAD	NA
	Location: CMU Mortar							
40	40		---	---	---	---	NAD	NA
	Location: CMU Mortar							



Analyzed by: Roman Peysakhov; Date Analyzed 5/4/2011

**Quantitative Analysis (Semi/Full): Bulk Asbestos Analysis - PLM by EPA 600/M4-82-020 per 40 CFR or ELAP 198.1 for New York friable samples or ELAP 198.6 for New York NOB samples; TEM (Semi/Full) by EPA 600/R-93/116 (not covered by NVLAP Bulk accreditation); or ELAP 198.4 for New York samples; NAD = no asbestos detected during a quantitative analysis; NA = not analyzed; Trace = <1%; Quantitation for beginning weights of <0.1 grams should be considered as qualitative only; Qualitative Analysis: Asbestos analysis results of "Present" or "NVA = No Visible Asbestos" represents results for Qualitative PLM or TEM Analysis only (no accreditation coverage available from any regulatory agency for qualitative analyses); AIHA Lab # 102843, NVLAP Lab Code 200546-0, NYSDOH ELAP LAB ID 11480.

Warning Note: PLM limitation, only TEM will resolve fibers <0.25 micrometers in diameter. TEM bulk analysis is representative of the fine grained matrix material and may not be representative of non-uniformly dispersed debris for which PLM evaluation is recommended (i.e. soils and other heterogeneous materials).

Reviewed By: _____

Bulk Sample Data Sheet/Chain of Custody

Client: Westhab, Inc.
 Building Address: 7-17 Ludlow Street, Yonkers, New York 10705
 Sampling Date: 28 April 2011

211045086

Page 1 of 3

Sample Number	Sample Description	Sample Location
1	Gypsum wall board	
2	Gypsum wallboard	
3	Gypsum wall board	
4	Joint compound	
5	Joint compound	
6	Joint compound	
7	Ceramic mastic	
8	Ceramic mastic	
9	Ceiling tiles	
10	Ceiling tiles	
11	Ceiling tiles	
12	ceiling tiles	
13	12" floor tile	Bath area 2nd Fl
14	12" floor tile	↓ ↓
15	floor tile mastic	
16	floor tile mastic	
17	Tile	under linoleum / carpet
18	Tile	under linoleum / carpet

Industrial Hygienist: Vernon C. Rohde II Signature: *Vernon C. Rohde II* Date: 28 April 2011

Laboratory Personnel: _____ Signature: _____ Date: _____

Turnaround Time Requested: **5 Days** Fax Results to (203) 426-3497

Additional Notes:

CR *4/29/11 0045*

For NOB Samples - Read by PLM NOB first, and if Negative also perform TEM analysis.

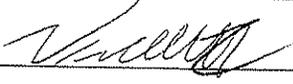
Bulk Sample Data Sheet/Chain of Custody

Client: Westhab, Inc.
 Building Address: 7-17 Ludlow Street, Yonkers, New York 10705
 Sampling Date: 28 April 2011

211045086

Page 2 of 3

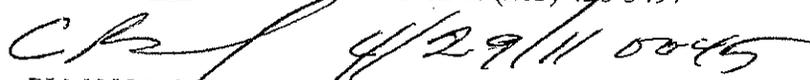
Sample Number	Sample Description	Sample Location
19	linoleum	
20	linoleum	
21	Cove molding	
22	Cove molding	
23	cove mastic	
24	Cove mastic	
25	Window caulking	white windows
26	Window caulking	↓
27	Window glazing	
28	Window glazing	
29	Window glazing	Brown windows
30	Window glazing	
31	Tar on wall	
32	Tar on wall	
33	Black on stairs	
34	Black on stairs	
35	CMU block	
36	CMU block	

Industrial Hygienist: Vernon C. Rohde II Signature:  Date: 28 April 2011

Laboratory Personnel: _____ Signature: _____ Date: _____

Turnaround Time Requested: **5 Days** Fax Results to (203) 426-3497

Additional Notes:



For NOB Samples - Read by PLM NOB first, and if Negative also perform TEM analysis.



AmeriSci New York

117 EAST 30TH ST.
NEW YORK, NY 10016
TEL: (212) 679-8600 • FAX: (212) 679-3114

PLM Bulk Asbestos Report

S&B Environmental
Attn: Vernon Rohde
7 Fairchild Drive

Newtown, CT 06470

Date Received 04/29/11 **AmeriSci Job #** 211045085
Date Examined 05/03/11 **P.O. #**
ELAP # 11480 **Page** 1 of 6
RE: Westhab, Inc.; 7-17 Ludlow Street, Yonkers, New York 10705;
Small Building

Client No. / HGA	Lab No.	Asbestos Present	Total % Asbestos
1 Location: Gypsum Wallboard Analyst Description: Grey, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Cellulose Trace, Fibrous glass 1 %, Non-fibrous 99 %	211045085-01	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
2 Location: Gypsum Wallboard Analyst Description: Grey, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Cellulose Trace, Fibrous glass 1 %, Non-fibrous 99 %	211045085-02	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
3 Location: Gypsum Wallboard Analyst Description: Grey, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Cellulose Trace, Fibrous glass 1 %, Non-fibrous 99 %	211045085-03	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
4 Location: Joint Compound Analyst Description: White, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 100 %	211045085-04	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
5 Location: Joint Compound Analyst Description: White, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 100 %	211045085-05	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11

See Reporting notes on last page

PLM Bulk Asbestos ReportWesthab, Inc.; 7-17 Ludlow Street, Yonkers, New York 10705;
Small Building

Client No. / HGA	Lab No.	Asbestos Present	Total % Asbestos
6 Location: Joint Compound	211045085-06	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
Analyst Description: White, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 100 %			
7 Location: Lay In Ceiling Tile	211045085-07	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 40.6 %			
8 Location: Lay In Ceiling Tile	211045085-08	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 53.5 %			
9 Location: Lay In Ceiling Tile	211045085-09	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 42.1 %			
10 Location: Lay In Ceiling Tile	211045085-10	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 49.4 %			
11 Location: 12" Floor Tile	211045085-11	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Beige, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 15.1 %			

See Reporting notes on last page

PLM Bulk Asbestos ReportWesthab, Inc.; 7-17 Ludlow Street, Yonkers, New York 10705;
Small Building

Client No. / HGA	Lab No.	Asbestos Present	Total % Asbestos
12 Location: 12" Floor Tile	211045085-12	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Beige, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 10.7 %			
13 Location: Floor Tile Mastic	211045085-13	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Tan, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 0.9 %			
14 Location: Floor Tile Mastic	211045085-14	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Tan, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 0.4 %			
15 Location: Cove Molding	211045085-15	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Brown, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 1.3 %			
16 Location: Cove Molding	211045085-16	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Brown, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 3.3 %			
17 Location: Cove Mastic	211045085-17	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Tan, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 9.9 %			

See Reporting notes on last page

PLM Bulk Asbestos Report

Westhab, Inc.; 7-17 Ludlow Street, Yonkers, New York 10705;
Small Building

Client No. / HGA	Lab No.	Asbestos Present	Total % Asbestos
18 Location: Cove Mastic Analyst Description: Tan, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 9.1 %	211045085-18	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
19 Location: Roof Shingles - Red Analyst Description: Black, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 17.4 %	211045085-19	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
20 Location: Roof Shingles - Red Analyst Description: Black, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 25.7 %	211045085-20	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
21 Location: Window Glazing Analyst Description: Grey, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 0.7 %	211045085-21	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
22 Location: Window Glazing Analyst Description: White, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Other Material: Non-fibrous 1.7 %	211045085-22	No	NAD (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
23 Location: Brick Analyst Description: Red, Homogeneous, Non-Fibrous, Cementitious, Bulk Material Asbestos Types: Other Material: Non-fibrous 100 %	211045085-23	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11

See Reporting notes on last page

PLM Bulk Asbestos Report

Westhab, Inc.; 7-17 Ludlow Street, Yonkers, New York 10705;
Small Building

Client No. / HGA	Lab No.	Asbestos Present	Total % Asbestos
24 Location: Brick	211045085-24	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
Analyst Description: Red, Homogeneous, Non-Fibrous, Cementitious, Bulk Material Asbestos Types: Other Material: Non-fibrous 100 %			
25 Location: Brick	211045085-25	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
Analyst Description: Red, Homogeneous, Non-Fibrous, Cementitious, Bulk Material Asbestos Types: Other Material: Non-fibrous 100 %			
26 Location: Brick Mortar	211045085-26	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Cementitious, Bulk Material Asbestos Types: Other Material: Non-fibrous 100 %			
27 Location: Brick Mortar	211045085-27	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Cementitious, Bulk Material Asbestos Types: Other Material: Animal hair Trace, Non-fibrous 100 %			
28 Location: Brick Mortar	211045085-28	No	NAD (by NYS ELAP 198.1) by Karol H. Lu on 05/03/11
Analyst Description: Grey, Homogeneous, Non-Fibrous, Cementitious, Bulk Material Asbestos Types: Other Material: Animal hair Trace, Non-fibrous 100 %			
29 Location: Grey Roofing	211045085-29	Yes	Trace (<0.25 % pc) (ELAP 198.6; 400pc) by Karol H. Lu on 05/03/11
Analyst Description: Black, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Chrysotile <0.25 % pc Other Material: Non-fibrous 16.1 %			

See Reporting notes on last page

PLM Bulk Asbestos Report

Westhab, Inc.; 7-17 Ludlow Street, Yonkers, New York 10705;
Small Building

Client No. / HGA	Lab No.	Asbestos Present	Total % Asbestos
30 Location: Grey Roofing	211045085-30	Yes	Trace (<0.25 % pc) (ELAP 198.6; 400pc) by Karol H. Lu on 05/03/11
Analyst Description: Black, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Chrysotile <0.25 % pc Other Material: Non-fibrous 32.3 %			
31 Location: Roof Flashing	211045085-31	Yes	16.3 % (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Black, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Chrysotile 16.3 % Other Material: Non-fibrous 28.4 %			
32 Location: Roof Flashing	211045085-32	Yes	18.7 % (by NYS ELAP 198.6) by Karol H. Lu on 05/03/11
Analyst Description: Black, Homogeneous, Non-Fibrous, Bulk Material Asbestos Types: Chrysotile 18.7 % Other Material: Non-fibrous 32.6 %			

Reporting Notes:

Analyzed by: Karol H. Lu 

*NAD/NSD =no asbestos detected; NA =not analyzed; NA/PS=not analyzed/positive stop; PLM Bulk Asbestos Analysis by EPA 600/M4-82-020 per 40 CFR 763 (NVLAP Lab Code 200546-0), ELAP PLM Method 198.1 for NY friable samples or 198.6 for NOB samples (NY ELAP Lab ID11480);

Note:PLM is not consistently reliable in detecting asbestos in floor coverings and similar non-friable organically bound materials. NAD or Trace results by PLM are inconclusive, TEM is currently the only method that can be used to determine if this material can be considered or treated as non asbestos-containing in NY State (also see EPA Advisory for floor tile,FR 59,146,38970,8/1/94). National Institute of Standards and Technology Accreditation requirements mandate that this report must not be reproduced except in full without the approval of the lab. This PLM report relates ONLY to the items tested. AIHA Lab # 102843.

Reviewed By: _____ END OF REPORT _____

Table I
Summary of Bulk Asbestos Analysis Results

Westhab, Inc.; 7-17 Ludlow Street, Yonkers, New York 10705; Small Building

AmeriSci Sample #	Client Sample#	HG Area	Sample Weight (gram)	Heat Sensitive Organic %	Acid Soluble Inorganic %	Insoluble Non-Asbestos Inorganic %	** Asbestos % by PLM/DS	** Asbestos % by TEM
01	1						NAD	NA
	Location: Gypsum Wallboard							
02	2						NAD	NA
	Location: Gypsum Wallboard							
03	3						NAD	NA
	Location: Gypsum Wallboard							
04	4						NAD	NA
	Location: Joint Compound							
05	5						NAD	NA
	Location: Joint Compound							
06	6						NAD	NA
	Location: Joint Compound							
07	7		0.315	27.0	32.4	40.6	NAD	NAD
	Location: Lay In Ceiling Tile							
08	8		0.157	27.4	19.1	53.5	NAD	NAD
	Location: Lay In Ceiling Tile							
09	9		0.292	27.1	30.8	42.1	NAD	NAD
	Location: Lay In Ceiling Tile							
10	10		0.330	27.6	23.0	49.4	NAD	NAD
	Location: Lay In Ceiling Tile							
11	11		0.404	17.3	67.6	15.1	NAD	NAD
	Location: 12" Floor Tile							
12	12		0.392	14.3	75.0	10.7	NAD	NAD
	Location: 12" Floor Tile							
13	13		0.463	82.3	16.8	0.9	NAD	NAD
	Location: Floor Tile Mastic							
14	14		0.450	80.4	19.1	0.4	NAD	NAD
	Location: Floor Tile Mastic							
15	15		0.155	29.7	69.0	1.3	NAD	NAD
	Location: Cove Molding							
16	16		0.336	30.1	66.7	3.3	NAD	NAD
	Location: Cove Molding							

Table I
Summary of Bulk Asbestos Analysis Results

Westhab, Inc.; 7-17 Ludlow Street, Yonkers, New York 10705; Small Building

AmeriSci Sample #	Client Sample#	HG Area	Sample Weight (gram)	Heat Sensitive Organic %	Acid Soluble Inorganic %	Insoluble Non-Asbestos Inorganic %	** Asbestos % by PLM/DS	** Asbestos % by TEM
17	17		0.071	64.8	25.4	9.9	NAD	NAD
	Location: Cove Mastic							
18	18		0.132	82.6	8.3	9.1	NAD	NAD
	Location: Cove Mastic							
19	19		0.396	60.1	22.5	17.4	NAD	NAD
	Location: Roof Shingles - Red							
20	20		0.358	40.2	34.1	25.7	NAD	NAD
	Location: Roof Shingles - Red							
21	21		0.286	7.7	91.6	0.7	NAD	NAD
	Location: Window Glazing							
22	22		0.288	10.1	88.2	1.7	NAD	NAD
	Location: Window Glazing							
23	23		---	---	---	---	NAD	NA
	Location: Brick							
24	24		---	---	---	---	NAD	NA
	Location: Brick							
25	25		---	---	---	---	NAD	NA
	Location: Brick							
26	26		---	---	---	---	NAD	NA
	Location: Brick Mortar							
27	27		---	---	---	---	NAD	NA
	Location: Brick Mortar							
28	28		---	---	---	---	NAD	NA
	Location: Brick Mortar							
29	29		0.217	81.6	2.3	13.7	Chrysotile <0.25	Chrysotile 2.4
	Location: Grey Roofing							
30	30		0.424	66.6	11.1	32.1	Chrysotile <0.25	Chrysotile <1.0
	Location: Grey Roofing							
31	31		0.309	42.1	13.3	28.4	Chrysotile 16.3	NA
	Location: Roof Flashing							
32	32		0.318	40.3	8.5	32.6	Chrysotile 18.7	NA
	Location: Roof Flashing							

Table I
Summary of Bulk Asbestos Analysis Results

Westhab, Inc.; 7-17 Ludlow Street, Yonkers, New York 10705; Small Building

AmeriSci Sample #	Client Sample#	HG Area	Sample Weight (gram)	Heat Sensitive Organic %	Acid Soluble Inorganic %	Insoluble Non-Asbestos inorganic %	** Asbestos % by PLM/DS	** Asbestos % by TEM
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Analyzed by: Roman Peysakhov; Date Analyzed 5/4/2011



**Quantitative Analysis (Semi/Full); Bulk Asbestos Analysis - PLM by EPA 600/M4-82-020 per 40 CFR or ELAP 198.1 for New York friable samples or ELAP 198.6 for New York NOB samples; TEM (Semi/Full) by EPA 600/R-93/116 (not covered by NVLAP Bulk accreditation); or ELAP 198.4 for New York samples; NAD = no asbestos detected during a quantitative analysis; NA = not analyzed; Trace <1%; Quantitation for beginning weights of <0.1 grams should be considered as qualitative only; Qualitative Analysis: Asbestos analysis results of "Present" or "NVA = No Visible Asbestos" represents results for Qualitative PLM or TEM Analysis only (no accreditation coverage available from any regulatory agency for qualitative analyses); AIHA Lab # 102843, NVLAP Lab Code 200546-0, NYSDOH ELAP LAB ID 11480.

Warning Note: PLM limitation, only TEM will resolve fibers <0.25 micrometers in diameter. TEM bulk analysis is representative of the fine grained matrix material and may not be representative of non-uniformly dispersed debris for which PLM evaluation is recommended (i.e. soils and other heterogeneous materials).

Reviewed By: _____

Bulk Sample Data Sheet/Chain of Custody

Client: Westhab, Inc.
 Building Address: 7-17 Ludlow Street, Yonkers, New York 10705
 Sampling Date: 28 April 2011

211045085

Small Building

Page 1 of 2

Sample Number	Sample Description	Sample Location
1	Gypsum wall board	
2	Gypsum wall board	
3	Gypsum wall board	
4	Joint compound	
5	Joint compound	
6	Joint compound	
7	Lay in ceiling tile	
8	Lay in ceiling tile	
9	Lay in ceiling tile	
10	Lay in ceiling tile	
11	12" Floor tile	
12	12" Floor tile	
13	Floor tile mastic	
14	Floor tile mastic	
15	Cove molding	
16	Cove molding	
17	Cove mastic	
18	Cove mastic	

Industrial Hygienist: Vernon C. Rohde II Signature: *Vernon C. Rohde II* Date: 28 April 2011

Laboratory Personnel: _____ Signature: _____ Date: _____

Turnaround Time Requested: **5 Days** Fax Results to (203) 426-3497

Additional Notes:

CP 4/29/11 0045

For NOB Samples - Read by PLM NOB first, and if Negative also perform TEM analysis.

Bulk Sample Data Sheet/Chain of Custody

Client: Westhab, Inc.
 Building Address: 7-17 Ludlow Street, Yonkers, New York 10705
 Sampling Date: 28 April 2011

211045085

Page 2 of 2

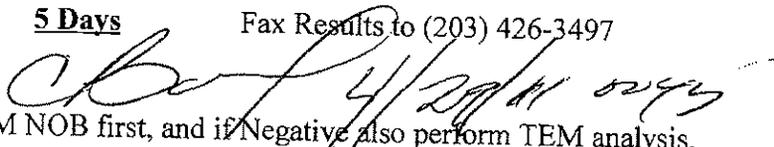
Sample Number	Sample Description	Sample Location
19	Roof Shingles - red	
20	Roof Shingles - red	
21	Window glazing	
22	Window glazing	
23	Brick	
24	Brick	
25	Brick	
26	Brick mortar	
27	Brick mortar	
28	Brick mortar	
29	Grey Roofing	
30	Grey Roofing	
31	Roof Flashing	
32	Roof Flashing	

Industrial Hygienist: Vernon C. Rohde II Signature:  Date: 28 April 2011

Laboratory Personnel: _____ Signature: _____ Date: _____

Turnaround Time Requested: **5 Days** Fax Results to (203) 426-3497

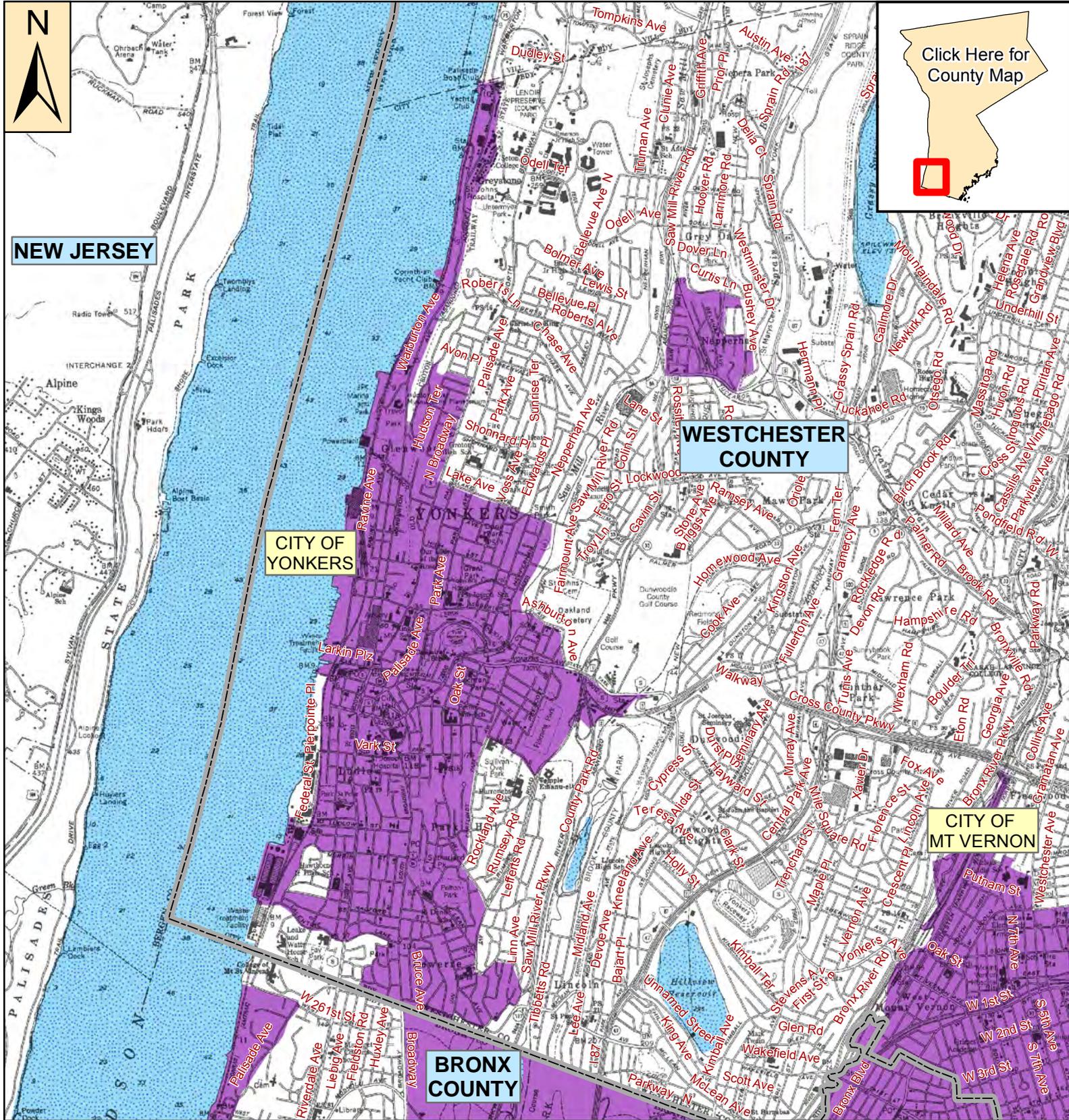
Additional Notes:



For NOB Samples - Read by PLM NOB first, and if Negative also perform TEM analysis.

APPENDIX D
YONKERS POTENTIAL ENVIRONMENTAL JUSTICE
AREA MAP

Potential Environmental Justice Areas in the City of Yonkers Westchester County, New York



This computer representation has been compiled from supplied data or information that has not been verified by EPA or NYSDEC. The data is offered here as a general representation only and is not to be used for commercial purposes without verification by an independent professional qualified to verify such data or information.

Neither EPA nor NYSDEC guarantee the accuracy, completeness, or timeliness of the information shown and shall not be liable for any loss or injury resulting from reliance.

Data Source for Potential Environmental Justice Areas:
U.S. Census Bureau, 2000 U.S. Census

Legend

- Potential EJ Area
- County Boundary
- Waterbodies

Miles

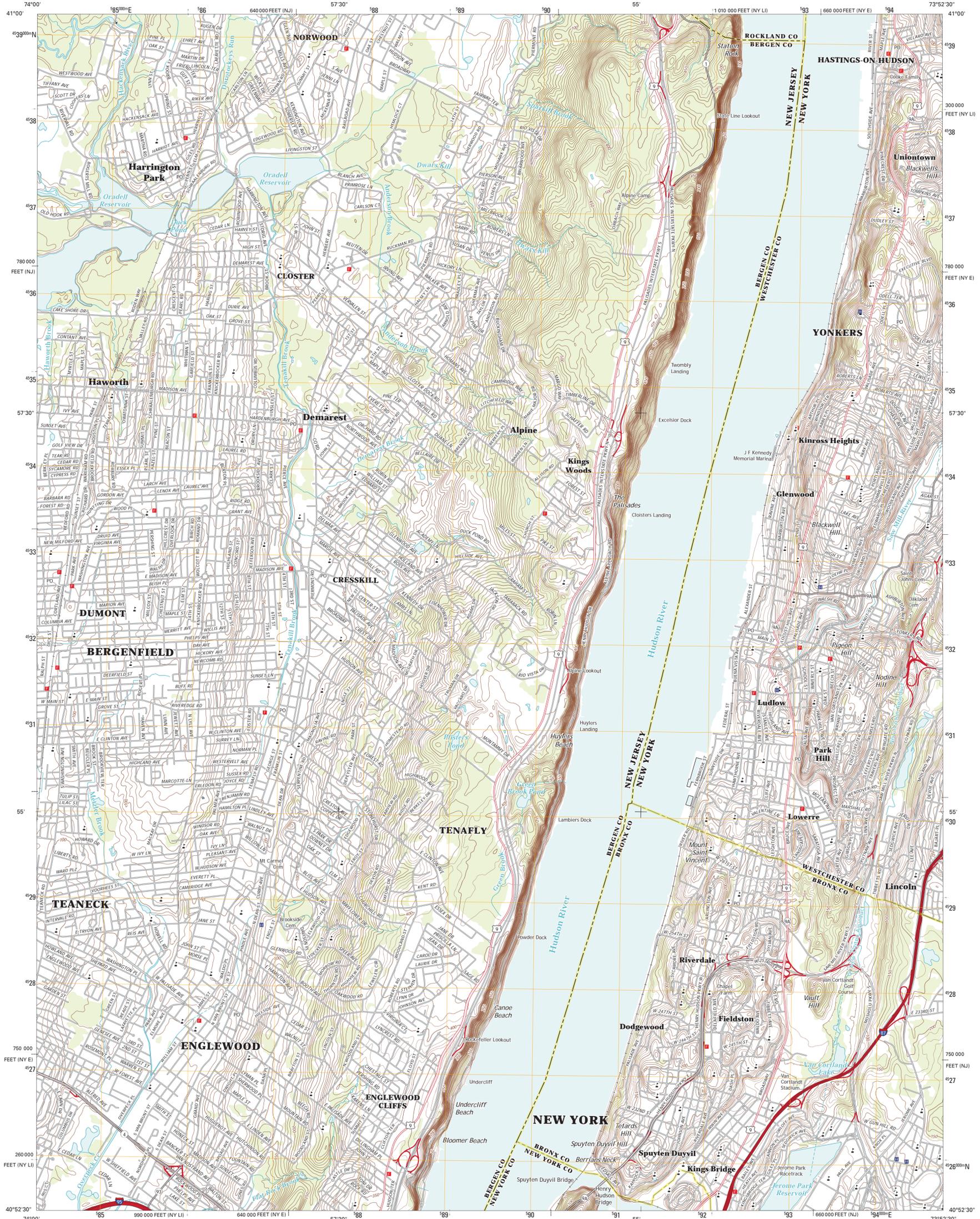
0 0.2 0.4 0.6 0.8 1

SCALE: 1:40,000

For questions about this map contact:
New York State Department of
Environmental Conservation
Office of Environmental Justice
625 Broadway, 14th Floor
Albany, New York 12233-1500
(518) 402-8556
ej@gw.dec.state.ny.us

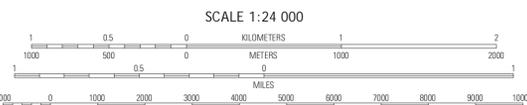
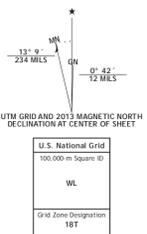


APPENDIX E
TOPOGRAPHIC MAP



Produced by the United States Geological Survey
North American Datum of 1983 (NAD83)
World Geodetic System of 1984 (WGS84). Projection and
1,000-meter grid: Universal Transverse Mercator, Zone 18T
10,000-foot ticks: New Jersey Coordinate System of 1983, New
York Coordinate System of 1983 (east and long island zones)

Imagery.....NAIP, July 2010 - July 2011
Roads.....©2006-2012 TomTom
Names.....GNS, 2012
Hydrography.....National Hydrography Dataset, 2010
Contours.....National Elevation Dataset, 1998
Boundaries.....Census, IBC, USGS, 1912 - 2012



CONTOUR INTERVAL 10 FEET
NORTH AMERICAN VERTICAL DATUM OF 1988
This map was produced to conform with the
National Geospatial Program US Topo Product Standard, 2011.
A metadata file associated with this product is draft version 0.6.7



QUADRANGLE LOCATION

Park Bridge	Nyack	White Plains
Hackensack	Yonkers	Mount Vernon
Weehawken	Central Park	Flushing



APPENDIX F
SHPO CORRESPONDENCE

Jeffrey Chu - RE: Project Submittal for 7-17 Ludlow Street, Yonkers 11PR03537

From: "Betsworth, Jennifer (PEB)" <Jennifer.Betsworth@parks.ny.gov>
To: 'Jeffrey Chu' <Jeffrey.Chu@westhab.org>
Date: 9/26/2013 10:07 AM
Subject: RE: Project Submittal for 7-17 Ludlow Street, Yonkers 11PR03537
CC: "Howe, Kathy (PEB)" <Kathy.Howe@parks.ny.gov>

Mr. Chu,

Yes – the project is still in our system as 11PR03537, and the letter sent was from Ruth Pierpont. The letter still applies to your project, as your project has not changed since our last review.

Thanks,

Jennifer

From: Jeffrey Chu [mailto:Jeffrey.Chu@westhab.org]
Sent: Thursday, September 26, 2013 9:42 AM
To: Betsworth, Jennifer (PEB)
Cc: Howe, Kathy (PEB)
Subject: Re: Project Submittal for 7-17 Ludlow Street, Yonkers 11PR03537

Jennifer,

Thank you for your quick response regarding our request for an updated SHPO review. ject 11PR03537. For the avoidance of doubt can you confirm that, the SHPO Project Number is 11PR03537, and that the letter referred to below (dated December 13, 2012), was from Ruth Pierpont? Thanks so much,

Jeff

Please note our new address:

8 Bashford Street, Yonkers, NY 10701 (in the iPark adjacent to Larkin Plaza).

Jeffrey Chu
Senior Development Associate
Westhab, Inc.
8 Bashford Street
Yonkers, NY 10701
P: 914-345-2800 ext 113
F: 914-376-5014
jeffrey.chu@westhab.org

Building Communities . Changing Lives

www.westhab.org

>>> "Betsworth, Jennifer (PEB)" <Jennifer.Betsworth@parks.ny.gov> 9/26/2013 9:21 AM >>>

Mr. Jeffrey Chu,

We have received your submittal regarding your HUD 202 mixed finance project at 7-17 Ludlow Street in Yonkers. After reviewing the materials you sent, it appears that the project has not changed since you last requested a review. Please consider the letter you received from our office dated December 13, 2012 to be effective.

If you have any questions or concerns, please feel free to email or call me.

Thanks,

Jennifer Betsworth
Historic Preservation Specialist
NYS Office of Parks, Recreation, and Historic Preservation

Peebles Island State Park
P.O. Box 189
Waterford, New York 12188

Phone: 518-237-8643 ext. 3296
Jennifer.Betsworth@parks.ny.gov



Andrew M. Cuomo
Governor

Rose Harvey
Commissioner

New York State Office of Parks, Recreation and Historic Preservation

Historic Preservation Field Services Bureau • Peebles Island, PO Box 189, Waterford, New York 12188-0189

518-237-8643

www.nysparks.com

December 13, 2012

Jeffrey Chu
Westhab
85 Executive Blvd.
Elmsford, New York 10523

Re: HUD
Low income senior housing, 8-story building
7-17 Ludlow Street
YONKERS, Westchester County
11PR03537

Dear Mr. Chu:

Thank you for requesting the comments of the State Historic Preservation Office (SHPO). We have reviewed the project in accordance with Section 106 of the National Historic Preservation Act of 1966. These comments are those of the SHPO and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the National Environmental Policy Act and/or the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8).

Based upon this review, it is the SHPO's opinion that your project will have No Effect upon cultural resources in or eligible for inclusion in the National Registers of Historic Places.

If further correspondence is required regarding this project, please be sure to refer to the OPRHP Project Review (PR) number noted above.

Sincerely,

Ruth L. Pierpont
Acting Deputy Commissioner for Historic Preservation

Attachment A4
SHPO Transmittal Letter

State of New York
DIVISION OF HOUSING AND COMMUNITY RENEWAL
38-40 State Street
Albany, New York 12207

David A. Paterson, Governor

Deborah VanAmerogen, Commissioner

Date: February 8, 2009

SHPO Transmittal Letter

To: James Warren
New York State Office of Parks Recreation & Historic Preservation
Historic Preservation Field Services Bureau
Peebles Island, PO Box 189
Waterford, New York 12188-0189
Phone: (518) 237-8643 Ext. 3283

From: Applicant/Sponsor: Westhab, Inc.

Applicant's Address: 85 Executive Blvd., Elmsford, NY 10523

Applicant's Contact Person: Robert Sanborn

Project Name: Ludlow Apartments

Project Address: 7-17 Ludlow Street, Yonkers, NY 10701

Please review the following form(s) enclosed for the above-referenced Project to determine if it is eligible to be listed in the National Register of Historic Places:

- Project Review Cover Form
- Historic Resource Inventory Form

Please respond in writing with your findings within ten (10) business days to the contact person mentioned above. Thank you.

We are applying for project funding from the following source:

- HTF or HOME Program
- New York Main Street (NYMS) Program
- State Program funding other than NYMS, HTF or HOME
- Federal Program
- Historic Tax Credits

7007 0710 0000 9570 4694

5 Postage Service	
CERTIFIED MAIL RECEIPT	
For delivery information visit our website at www.usps.com	
OFFICIAL USE	
Postage	\$ 0.76
Certified Fee	2.70
Return Receipt Fee (Endorsement Required)	1.00
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 3.46
Postmark Here	
Sent to James Warren, New York State Office of Parks, Recreation & Historic Preservation Street, Apt. No.: or PO Box No.: Peebles Island, P.O. Box 189 City, State, ZIP+4: Waterford NY 12188-0189	
PS Form 3800, August 2006 See Reverse for Instructions	

The Historic Preservation Review Process in New York State

In order to insure that historic preservation is carefully considered in publicly-funded or permitted undertakings*, there are laws at each level of government that require projects to be reviewed for their potential impact/effect on historic properties. At the federal level, Section 106 of the National Historic Preservation Act of 1966 (NHPA) directs the review of federally funded, licensed or permitted projects. At the state level, Section 14.09 of the New York State Parks, Recreation and Historic Preservation Law of 1980 performs a comparable function. Local environmental review for municipalities is carried out under the State Environmental Quality Review Act (SEQRA) of 1978.

regulations on line at:

<http://nysparks.state.ny.us> then select **HISTORIC PRESERVATION** then select **Environmental Review**

Project review is conducted in two stages. First, the Field Services Bureau assesses affected properties to determine whether or not they are listed or eligible for listing in the New York State or National Registers of Historic Places. If so, it is deemed "historic" and worthy of protection and the second stage of review is undertaken. The project is reviewed to evaluate its impact on the properties significant materials and character. Where adverse effects are identified, alternatives are explored to avoid, or reduce project impacts; where this is unsuccessful, mitigation measures are developed and formal agreement documents are prepared stipulating these measures.

ALL PROJECTS SUBMITTED FOR REVIEW SHOULD INCLUDE THE FOLLOWING MATERIAL(S).

Project Description

Attach a full description of the nature and extent of the work to be undertaken as part of this project. Relevant portions of the project applications or environmental statements may be submitted.

Maps Locating Project

Include a map locating the project in the community. The map must clearly show street and road names surrounding the project area as well as the location of all portions of the project. Appropriate maps include tax maps, Sanborn Insurance maps, and/or USGS quadrangle maps.

Photographs

Photographs may be black and white prints, color prints, or color laser/photo copies; standard (black and white) photocopies are NOT acceptable.

-If the project involves rehabilitation, include photographs of the building(s) involved. Label each exterior view to a site map and label all interior views.

-If the project involves new construction, include photographs of the surrounding area looking out from the project site. Include photographs of any buildings (more than 50 years old) that are located on the project property or on adjoining property.

NOTE: Projects submissions will not be accepted via facsimile or e-mail.

***Undertaking** is defined as an agency's purchase, lease or sale of a property, assistance through grants, loans or guarantees, issuing of licenses, permits or approvals, and work performed pursuant to delegation or mandate.



HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY

USN:

IDENTIFICATION

Property name(if any) 7-17 Ludlow Street
Address or Street Location 7-17 Ludlow Street
County Westchester Town/City Yonkers Village/Hamlet: _____
Owner Westhab, Inc. Address 85 Executive Blvd. Elmsford, NY 10523
Original use auto repair Current use vacant since 2004
Architect/Builder, if known Not known Date of construction, if known 1924

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other: _____	
Roof:	<input type="checkbox"/> asphalt, shingle	<input checked="" type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input checked="" type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Prepared by: Jeff Chu address Westhab, 85 Executive Blvd. Elmsford, NY 10523

Telephone: (914) 345-2800 ext13 email jeffrey.chu@westhab.org Date 2/8/09

(See Reverse)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The property is a rectangular parcel of approximately one-half acre in size, located on the northern side of Ludlow Street near the corner of South Broadway. A vacant two-story flat-roofed commercial building is located on the northeastern portion of the property and a vacant one-story flat-roofed commercial building is located on the north-central portion of the property. The remainder of the property is composed of a paved parking area.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g., a cotton mill from a period of growth in local industry, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

Applicant:
Project:

Westhab, Inc.
Ludlow Apartments

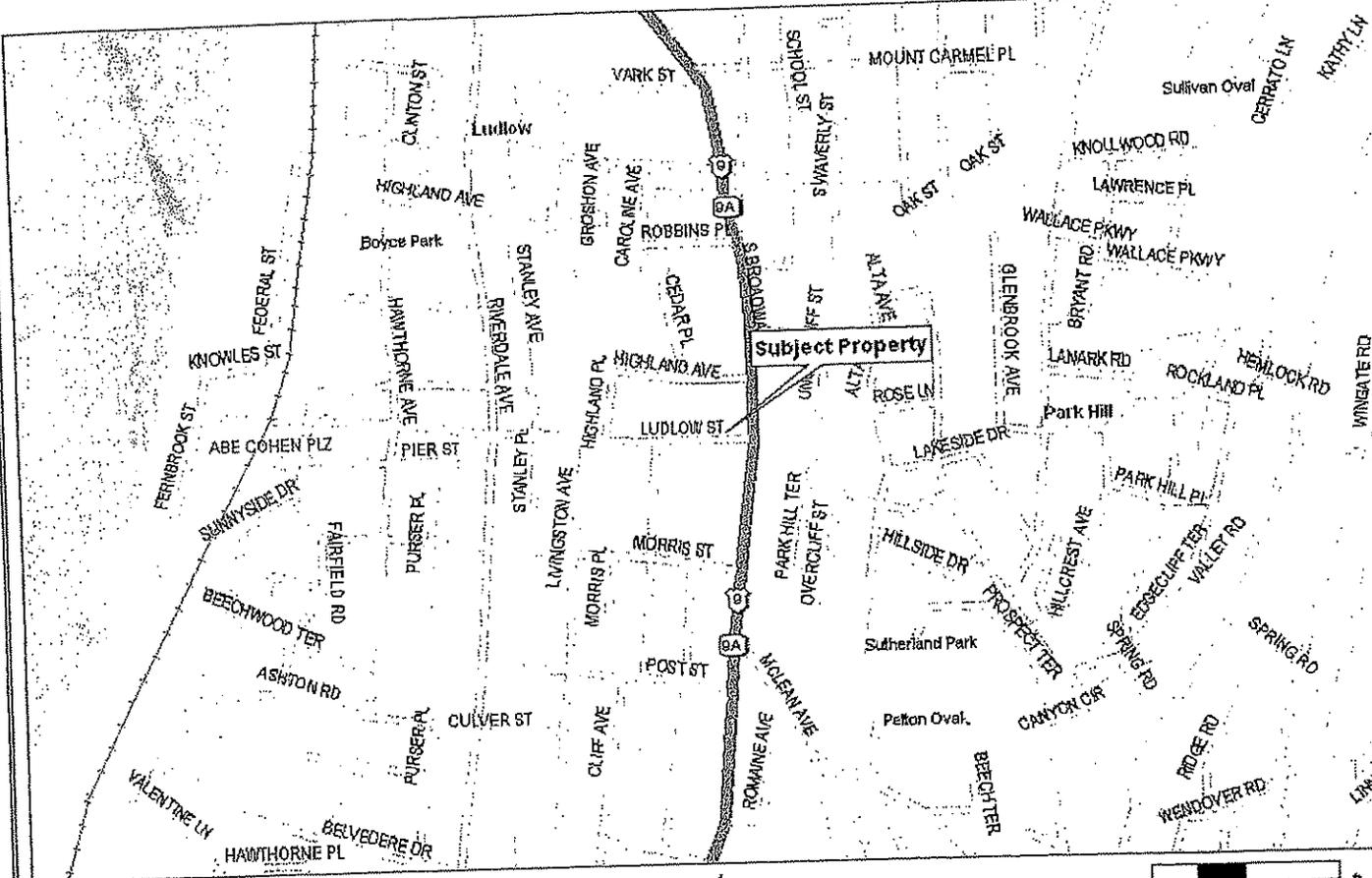
Project Information

Ludlow Apartments will be a multi-family, mixed-income, rental building located in Westchester County at 7-17 Ludlow Street, Yonkers, NY 10705. The 45,403 SF, 7-story, 40-unit building will include 12 studio, 16 one-bedroom, 12 two-bedroom apartments (including a rent-free apartment to the Superintendent), in-apartment bulk storage, and rooftop laundry and community room (including computer lab with free internet access). The Project will serve income bands at 30%, 40%, 50%, 60% and 65% AMI

The site, located in a high-density apartment zone (A zone), has two existing commercial buildings that will be abated and demolished. Westhab owns the site and is proposing an as-of-right design that will require no variances. The proposed site has a gentle downward slope from East to West but is otherwise generally flat. Westhab will contract with MJM Construction Services, LLC to build a new 7-story block and plank building with an exterior of masonry and curtain windows. The building has been designed to minimize the size of the basement and to provide all parking at-grade.

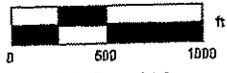
Supportive Housing

Eight (8) studios and 4 one-bedroom apartments equal to thirty percent (30%) of the apartments (Supportive Housing Units) will be reserved for homeless singles and families and targeted to households with Veterans. Residents in the 4 one-bedroom Supportive Housing apartments will have Section 8 fair-market rental subsidies through DHCR's Housing Choice Voucher program, and residents in the 8 studio Supportive Housing apartments will have rental subsidies equal to about \$6,000 per apartment per year through NYS Office of Mental Health and supportive service subsidies equal to about \$9,000 per apartment per year through Westchester County Department of Community Mental Health. In addition, Veterans in these apartments will have supportive services available through the VA Hudson Valley Health Care System.



DELORME

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 www.delorme.com



Data Zoom 14-0

Site Location Map
 7-17 Ludlow Street
 City of Yonkers
 Westchester County, New York



Date: May 2007

Page: 5

HIGHLAND AVE.

HIGHLAND PL.

HIGHLAND

74

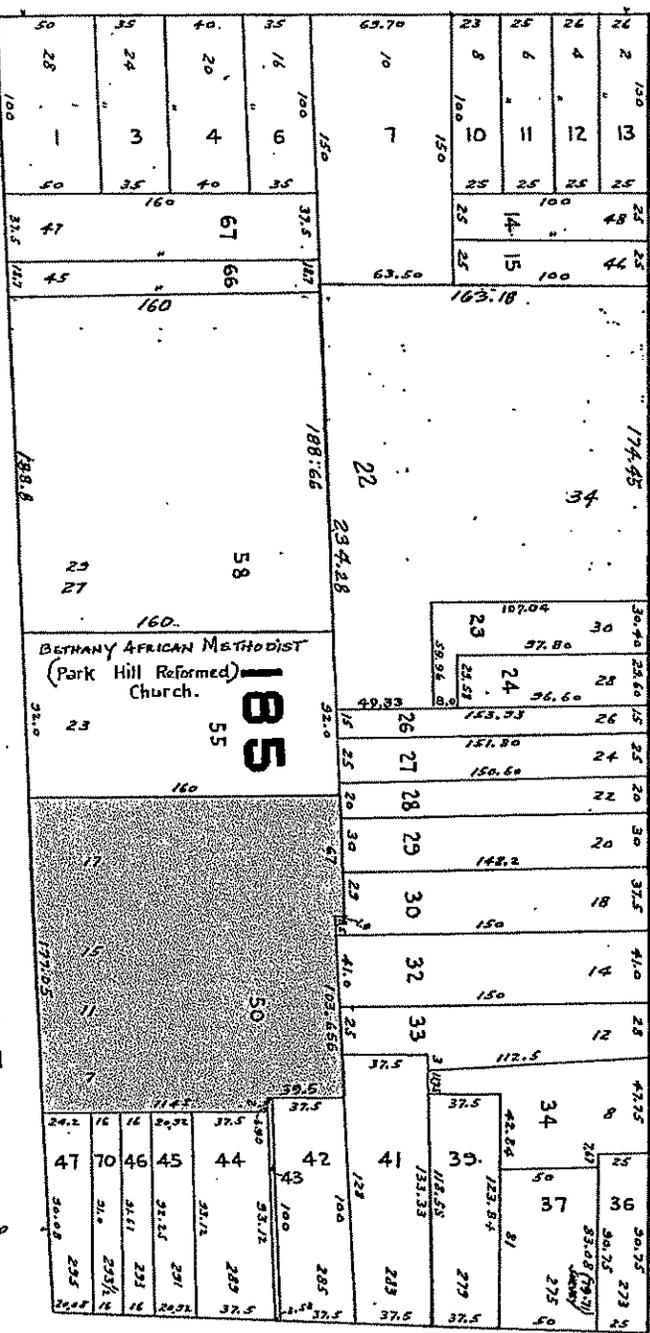
CEDAR PL.

PL.

75

AVENUE

72



63

LUDLOW

HAMILTON AVE.

62

STREET

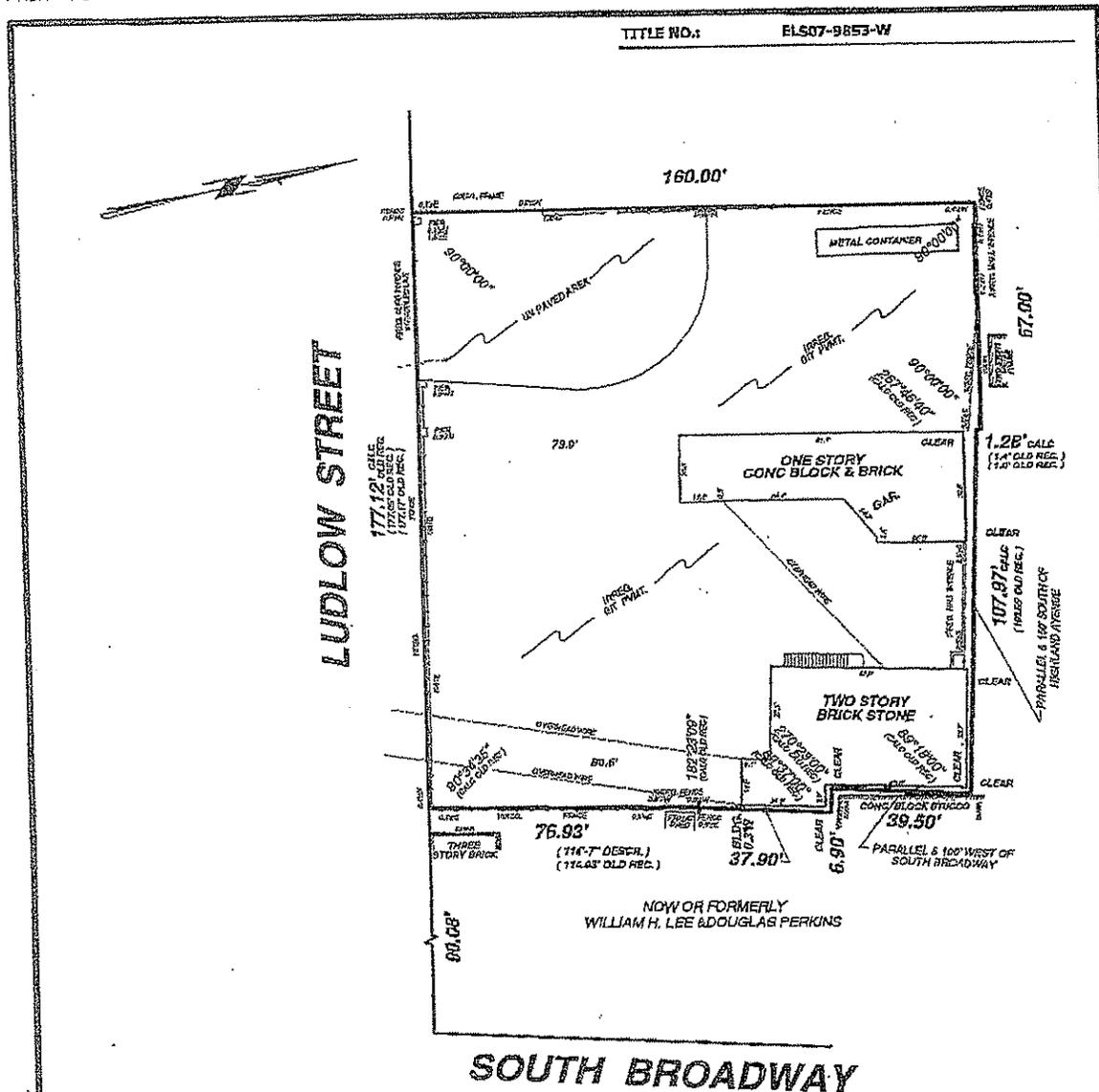
SOUTH BROADWAY

81



John S. ...
 City Engineer
 June 29, 1917

Scale 1" = 80'



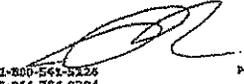
NOTE:

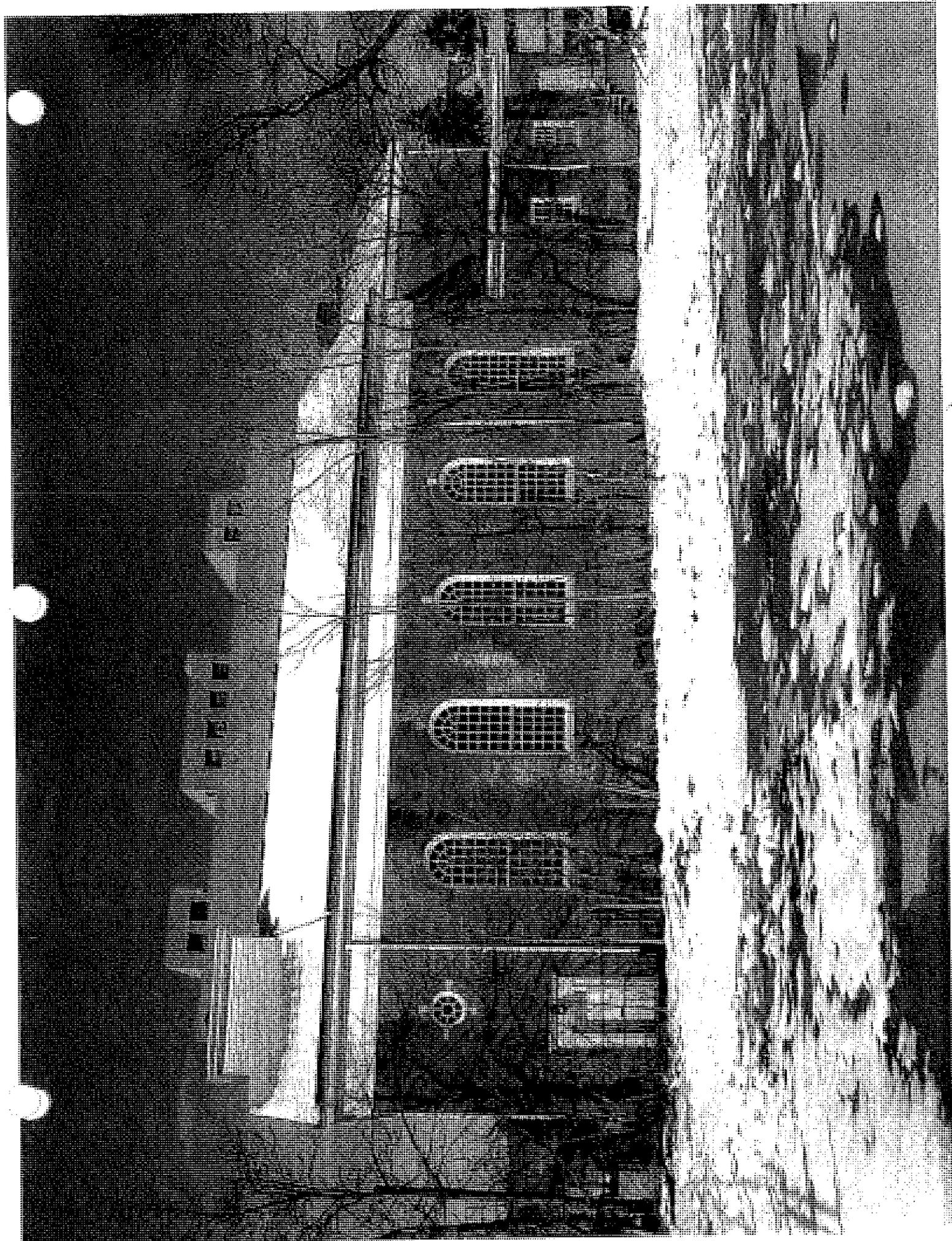
THE PROPERTY CONFIGURATION SHOWN REPRESENTS A REASONABLE DETERMINATION OF TAX BLOCK 185 LOT 5D BASED UPON EXISTING AVAILABLE INFORMATION.

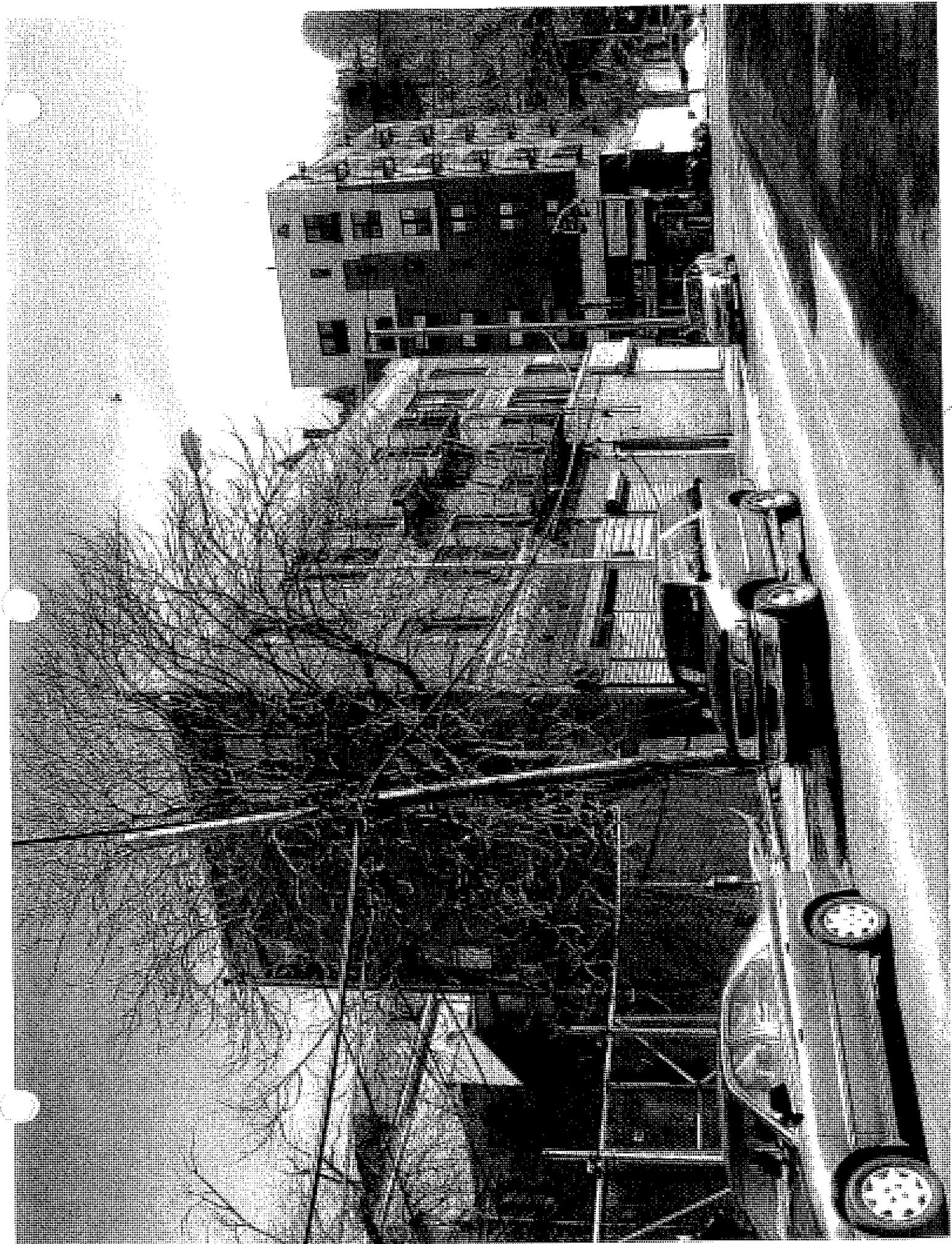
AREA NOTE:

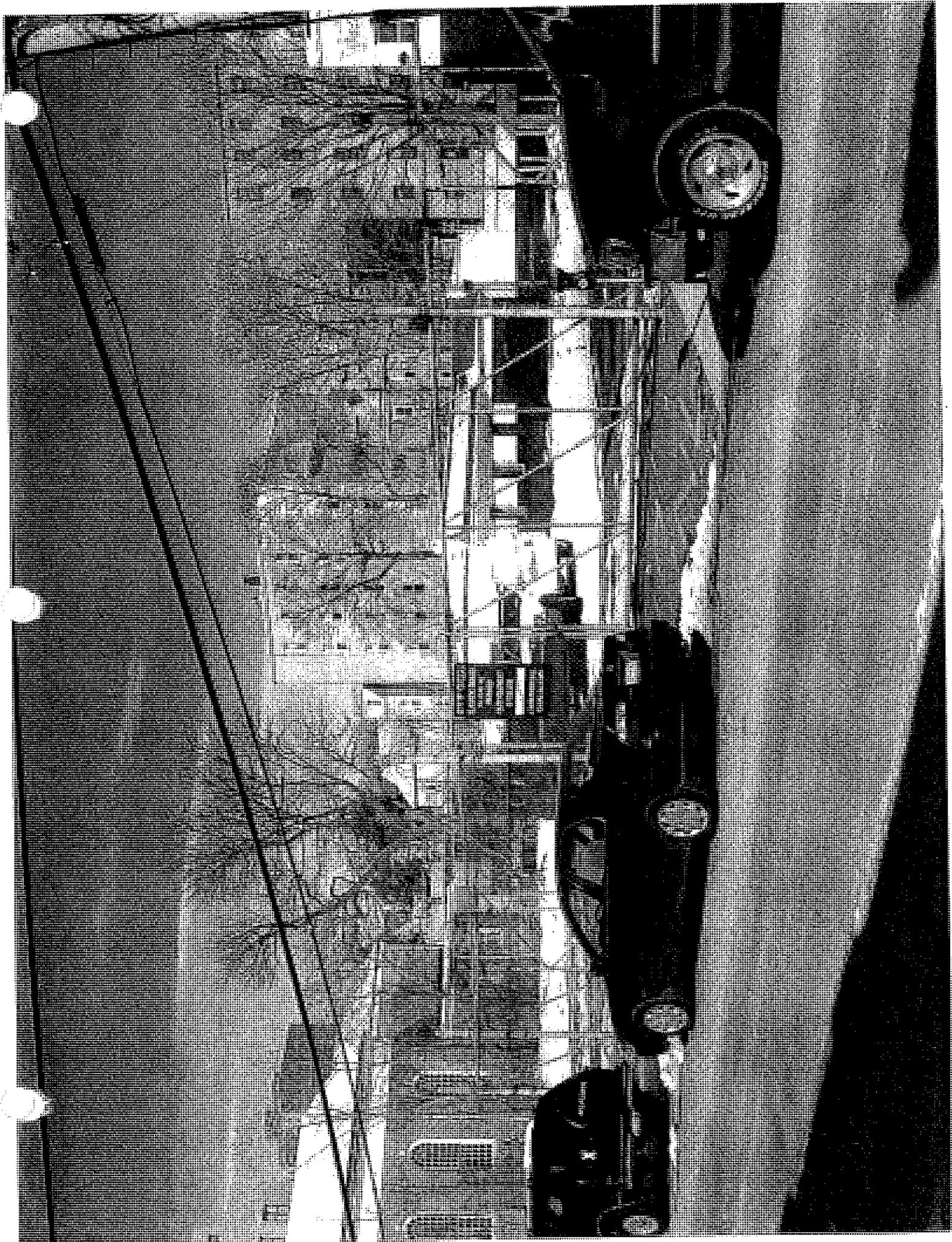
THE SUBJECT PREMISES HAS AN AREA OF 27887 SQUARE FEET, 0.64 ACRES

CITY OF YONKERS
TAX BLOCK 185 LOT 5D

MEASUREMENT IN U.S. STANDARD		THE EXISTENCE OF RIGHT OF WAYS AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN ARE NOT GUARANTEED	
THE DIMENSIONS SHOWN HEREON, FROM THE STRUCTURES TO THE PROPERTY LINE, ARE FOR A SPECIFIC PURPOSE ONLY. THEY ARE NOT INTENDED TO BE USED FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENT.			
UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.	ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.	* GUARANTEES INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.	
KULHANEK & PLAN LAND SURVEYORS, P.C.  1-800-541-3226 1-914-784-0304 1-516-631-9350 1-716-847-3933 MAILING ADDRESS: P.O. BOX 278 79 WESTCHESTER AVE. POUND RIDGE, NY 10578 FAX: 1-800-242-4955 EMAIL: KP.LSP@VERTIZON.NET	SECTION	BLOCK	DATE
	GUARANTEED TO: FIRST AMERICAN TITLE INSURANCE COMPANY OF NEW YORK ELECTRONIC LAND SERVICES, INC. MANUFACTURERS & TRADERS TRUST COMPANY, ITS SUCCESSORS AND/OR ASSIGNS * (SEE NOTE ABOVE) * THE COUNTY OF WESTCHESTER WESTHAB, INC.		6-20-2007 YONKERS WESTCHESTER COUNTY JOB NO.: 07-57864







NEW YORK STATE HOMES & COMMUNITY RENEWAL

38-40 State Street
Albany, New York 12207

Andrew M. Cuomo, Governor

Darryl C. Towns, Commissioner/CEO

Date: 19 September 2013

SHPO Transmittal Letter

To: James Warren
New York State Office of Parks Recreation & Historic Preservation
Historic Preservation Field Services Bureau
Peebles Island, PO Box 189
Waterford, New York 12188-0189
Phone: (518) 237-8643 Ext. 3283

From: Applicant/Sponsor: Westhab, Inc.

Applicant's Address: 85 Executive Blvd., Elmsford, NY 10523

Applicant's Contact Person: Jeffrey Chu

Project Name: Ludlow Commons

Project Address: 7-17 Ludlow Street, Yonkers, NY 10705

Please review the following form(s) enclosed for the above-referenced Project to determine if it is eligible to be listed in the National Register of Historic Places:

Project Review Cover Form

Historic Resource Inventory Form

Please respond in writing with your findings within ten (10) business days to the contact person mentioned above. Thank you.

We are applying for project funding from the following sources:

HTF or HOME Program

New York Main Street (NYMS) Program

State Program funding other than NYMS, HTF or HOME

Federal Program

Historic Tax Credits



BOARD OF DIRECTORS

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Eugene F. Conroy

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Arletha Miles-Boyer

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Robert H. Petrocelli, Jr.

Charles L. Weinberg
Chair Emeritus

September 19, 2013

James Warren
New York State office of Parks Recreation & Historic Preservation
Historic Preservation field Services Bureau
Peebles Island, PO Box 189
Waterford, New York 12188-0189

Subject: Ludlow Commons
Confirmation of No Impact Determination – 11PR03537

Dear Mr. Warren:

As indicated in the SHPO Transmittal Letter, Westhab is requesting a review for the purposes of our pending Low-Income Housing Tax Credit Application to NY State Homes and Community Renewal. Included with this package is a copy of the No Impact Determination Letter from December 13, 2012. The project, Ludlow Commons, is the HUD 202 mixed finance project (with tax credits from HCR) that was submitted for review back in 2011 and re-reviewed in 2012.

Please do not hesitate to call me with any questions. Thank you for your time.

Sincerely,

Jeffrey Chu
Senior Development Associate

Cc:

8 Bashford Street
Yonkers, NY 10701
Phone: 914.345.2800
Fax: 914.376.5014
www.westhab.org

A Not-for-Profit
Housing Corporation



Andrew M. Cuomo
Governor

Rose Harvey
Commissioner

New York State Office of Parks, Recreation and Historic Preservation

Historic Preservation Field Services Bureau • Peebles Island, PO Box 189, Waterford, New York 12188-0189

518-237-8643

www.nysparks.com

December 13, 2012

Jeffrey Chu
Westhab
85 Executive Blvd.
Elmsford, New York 10523

Re: HUD
Low income senior housing, 8-story building
7-17 Ludlow Street
YONKERS, Westchester County
11PR03537

Dear Mr. Chu:

Thank you for requesting the comments of the State Historic Preservation Office (SHPO). We have reviewed the project in accordance with Section 106 of the National Historic Preservation Act of 1966. These comments are those of the SHPO and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the National Environmental Policy Act and/or the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8).

Based upon this review, it is the SHPO's opinion that your project will have No Effect upon cultural resources in or eligible for inclusion in the National Registers of Historic Places.

If further correspondence is required regarding this project, please be sure to refer to the OPRHP Project Review (PR) number noted above.

Sincerely,

Ruth L. Pierpont
Acting Deputy Commissioner for Historic Preservation



New York State Office of Parks, Recreation and Historic Preservation Historic Preservation Field Services Bureau

Peebles Island Resource Center, PO Box 189, Waterford, NY 12188-0189 (Mail)
Delaware Avenue, Cohoes 12047 (Delivery)

(518) 237-8643

PROJECT REVIEW COVER FORM

Rev. 5-05

Please complete this form and attach it to the top of **any and all information submitted to this office** for review.
Accurate and complete forms will assist this office in the timely processing and response to your request.

This information relates to a previously submitted project.

PROJECT NUMBER 11 PR 03537

COUNTY Westchester



If you have checked this box and noted the previous Project Review (PR) number assigned by this office you do not need to continue unless any of the required information below has changed.

2. This is a new project.



If you have checked this box you will need to complete ALL of the following information.

Project Name _____

Location _____

You MUST include street number, street name and/or County, State or Interstate route number if applicable

City/Town/Village _____

List the correct municipality in which your project is being undertaken. If in a hamlet you must also provide the name of the town.

County _____

If your undertaking* covers multiple communities/counties please attach a list defining all municipalities/counties included.

TYPE OF REVIEW REQUIRED/REQUESTED (Please answer both questions)

A. Does this action involve a permit approval or funding, now or ultimately from any other governmental agency?

No Yes

If Yes, list agency name(s) and permit(s)/approval(s)

Agency involved	Type of permit/approval	State	Federal
_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	_____	<input type="checkbox"/>	<input type="checkbox"/>

B. Have you consulted the NYSHPO web site at ****<http://nysparks.state.ny.us>** to determine the preliminary presence or absence of previously identified cultural resources within or adjacent to the project area? If yes:

Yes No

Was the project site wholly or partially included within an identified archeologically sensitive area? Yes No

Does the project site involve or is it substantially contiguous to a property listed or recommended for listing in the NY State or National Registers of Historic Places? Yes No

CONTACT PERSON FOR PROJECT

Name _____ Title _____

Firm/Agency _____

Address _____ City _____ STATE _____ Zip _____

Phone (____) _____ Fax (____) _____ E-Mail _____

**<http://nysparks.state.ny.us> then select HISTORIC PRESERVATION then select On Line Resources

The Historic Preservation Review Process in New York State

In order to insure that historic preservation is carefully considered in publicly-funded or permitted undertakings*, there are laws at each level of government that require projects to be reviewed for their potential impact/effect on historic properties. At the federal level, Section 106 of the National Historic Preservation Act of 1966 (NHPA) directs the review of federally funded, licensed or permitted projects. At the state level, Section 14.09 of the New York State Parks, Recreation and Historic Preservation Law of 1980 performs a comparable function. Local environmental review for municipalities is carried out under the State Environmental Quality Review Act (SEQRA) of 1978.

regulations on line at:

<http://nysparks.state.ny.us> then select **HISTORIC PRESERVATION** then select **Environmental Review**

Project review is conducted in two stages. First, the Field Services Bureau assesses affected properties to determine whether or not they are listed or eligible for listing in the New York State or National Registers of Historic Places. If so, it is deemed "historic" and worthy of protection and the second stage of review is undertaken. The project is reviewed to evaluate its impact on the properties significant materials and character. Where adverse effects are identified, alternatives are explored to avoid, or reduce project impacts; where this is unsuccessful, mitigation measures are developed and formal agreement documents are prepared stipulating these measures.

ALL PROJECTS SUBMITTED FOR REVIEW SHOULD INCLUDE THE FOLLOWING MATERIAL(S).

Project Description

Attach a full description of the nature and extent of the work to be undertaken as part of this project. Relevant portions of the project applications or environmental statements may be submitted.

Maps Locating Project

Include a map locating the project in the community. The map must clearly show street and road names surrounding the project area as well as the location of all portions of the project. Appropriate maps include tax maps, Sanborn Insurance maps, and/or USGS quadrangle maps.

Photographs

Photographs may be black and white prints, color prints, or color laser/photo copies; standard (black and white) photocopies are NOT acceptable.

-If the project involves rehabilitation, include photographs of the building(s) involved. Label each exterior view to a site map and label all interior views.

-If the project involves new construction, include photographs of the surrounding area looking out from the project site. Include photographs of any buildings (more than 50 years old) that are located on the project property or on adjoining property.

NOTE: Projects submissions will not be accepted via facsimile or e-mail.

***Undertaking** is defined as an agency's purchase, lease or sale of a property, assistance through grants, loans or guarantees, issuing of licenses, permits or approvals, and work performed pursuant to delegation or mandate.



looking north through property (on west side)



looking north from property (on east side)



looking south from property (on west side)



looking south from property (on east side)



looking (west) down Ludlow St.



looking (east) down Ludlow St.



Subject property



Subject property



HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name(if any) 7-17 Ludlow Street
Address or Street Location 7-17 Ludlow Street
County Westchester Town/City Yonkers Village/Hamlet: _____
Owner Westhab, Inc. Address 85 Executive Blvd. Elmsford, NY 10523
Original use auto repair Current use vacant since 2004
Architect/Builder, if known Not known Date of construction, if known 1924

DESCRIPTION

Materials -- please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other: _____	
Roof:	<input type="checkbox"/> asphalt, shingle	<input checked="" type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input checked="" type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Prepared by: Jeff Chu address Westhab, 85 Executive Blvd. Elmsford, NY 10523
Telephone: (914)345-2800 ext13 email jeffrey.chu@westhab.org Date 9/19/13

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTIONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

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Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g., a cotton mill from a period of growth in local industry, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.



looking north through property (on west side)



looking north from property (on east side)



looking south from property (on west side)



looking south from property (on east side)



looking (west) down Ludlow St.



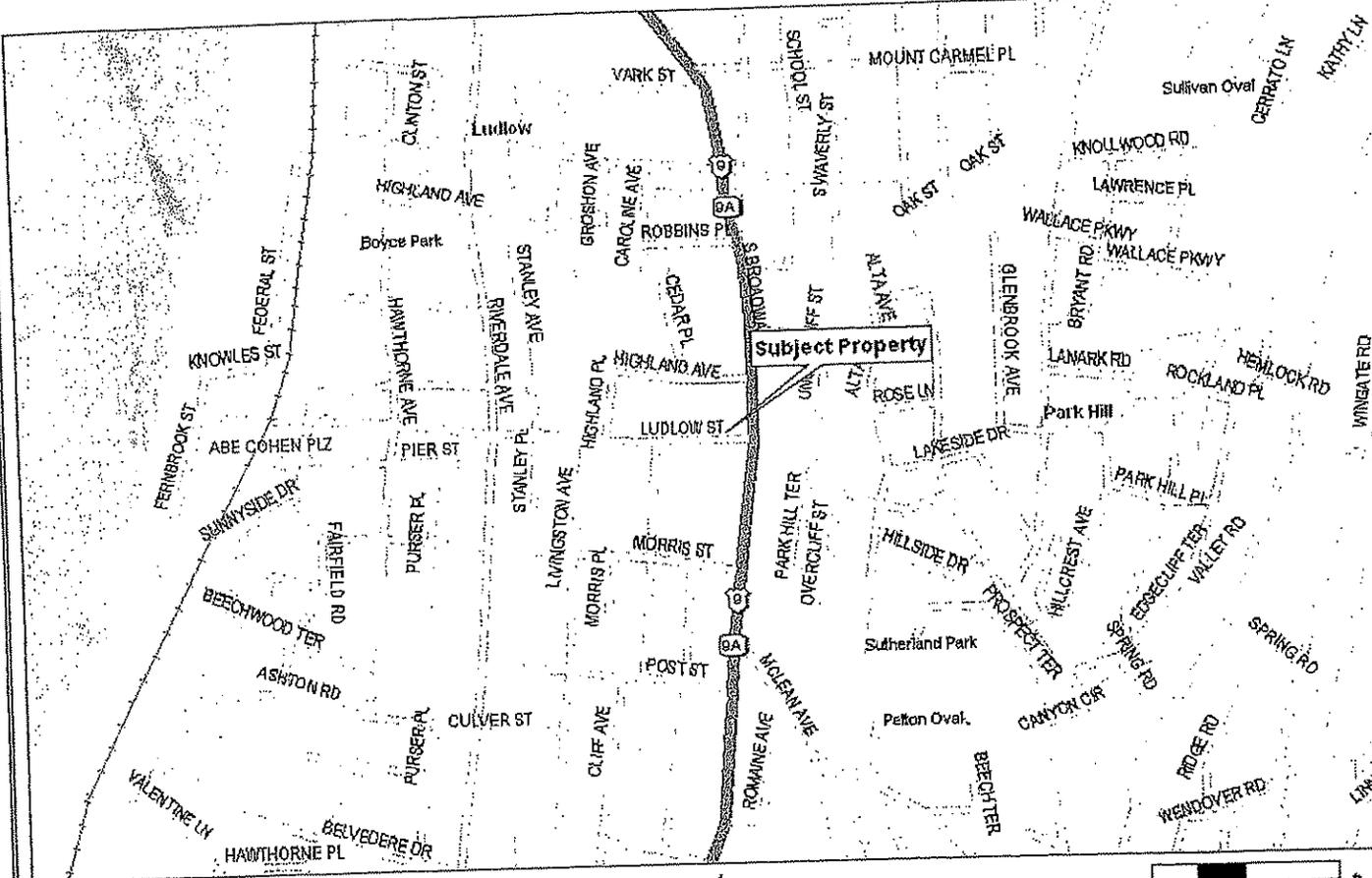
looking (east) down Ludlow St.



Subject property



Subject property



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 www.delorme.com

MN (13.3° W)

0 500 1000 ft
 Data Zoom 14-0

Site Location Map
 7-17 Ludlow Street
 City of Yonkers
 Westchester County, New York



Date: May 2007

Page: 5

HIGHLAND AVE.

HIGHLAND PL.

HIGHLAND AVENUE

74

PL.

CEDAR

75

72

LUDLOW STREET

63

HAMILTON AVE.

62

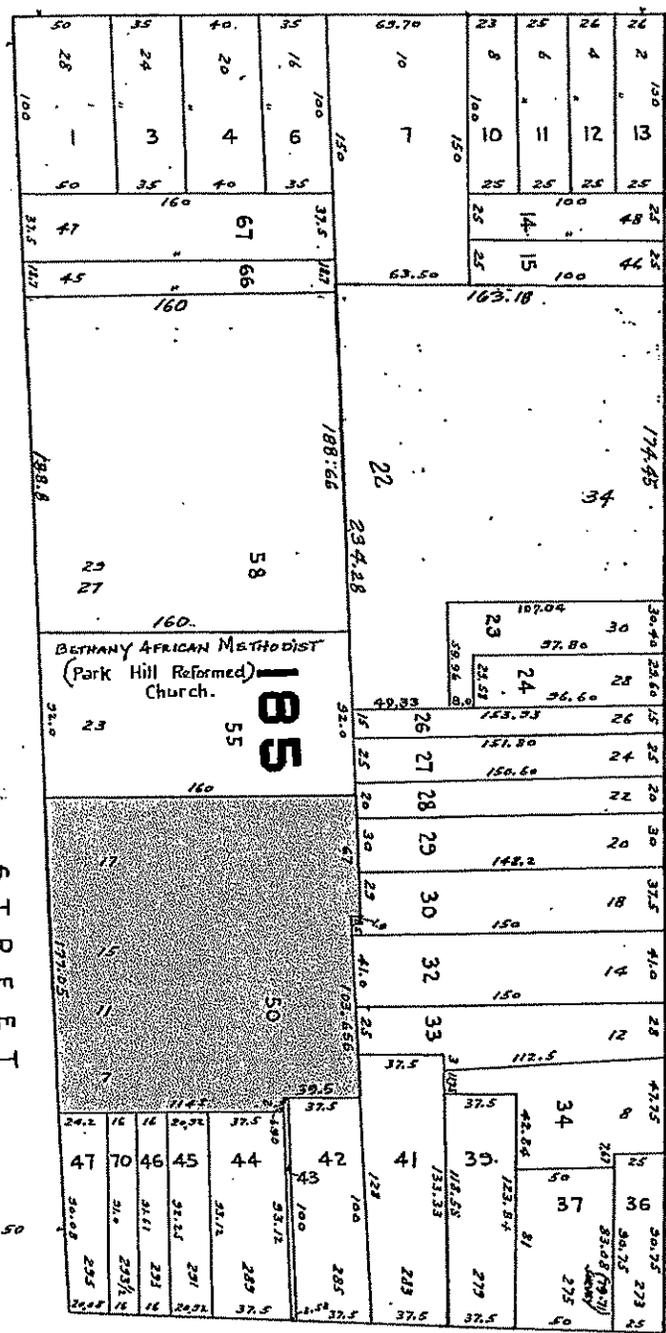
STREET

AVENUE

SOUTH

BROADWAY

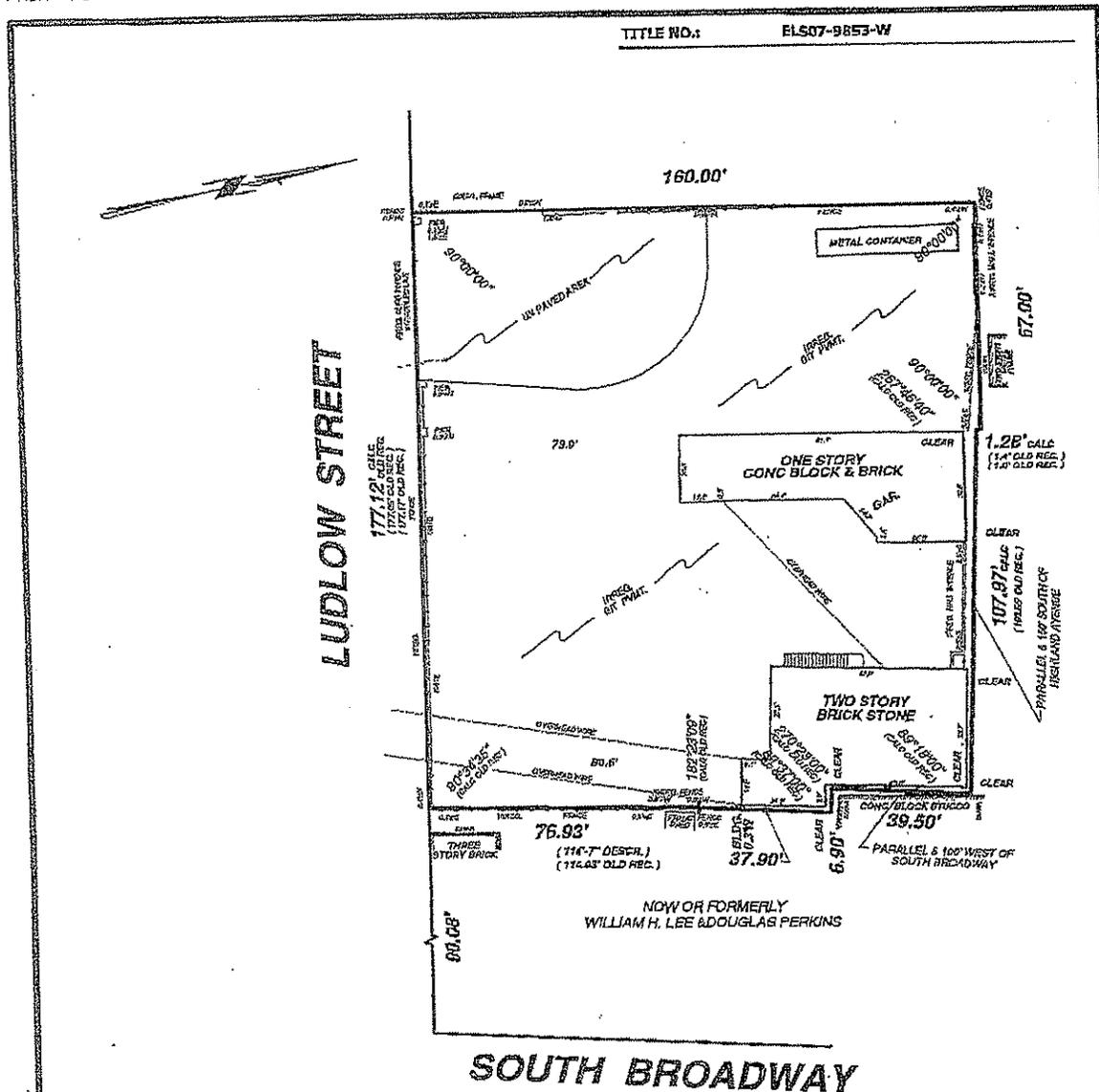
81



Handwritten signature
 City Engineer
 June 29, 1917

Scale 1" = 80'





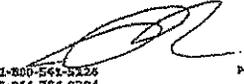
NOTE:

THE PROPERTY CONFIGURATION SHOWN REPRESENTS A REASONABLE DETERMINATION OF TAX BLOCK 185 LOT 5D BASED UPON EXISTING AVAILABLE INFORMATION.

AREA NOTE:

THE SUBJECT PREMISES HAS AN AREA OF 27887 SQUARE FEET, 0.64 ACRES

CITY OF YONKERS
TAX BLOCK 185 LOT 5D

MEASUREMENT IN U.S. STANDARD		THE EXISTENCE OF RIGHT OF WAYS AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN ARE NOT GUARANTEED	
THE DIMENSIONS SHOWN HEREON, FROM THE STRUCTURES TO THE PROPERTY LINE, ARE FOR A SPECIFIC PURPOSE ONLY. THEY ARE NOT INTENDED TO BE USED FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENT.			
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KULHANEK & PLAN LAND SURVEYORS, P.C.  1-800-541-3226 1-914-784-0304 1-516-631-9350 1-716-847-3933 MAILING ADDRESS: P.O. BOX 278 79 WESTCHESTER AVE. POUND RIDGE, NY 10578 FAX: 1-800-242-4955 EMAIL: KP.LSP@VERTIZON.NET	SECTION	BLOCK	DATE
	GUARANTEED TO: FIRST AMERICAN TITLE INSURANCE COMPANY OF NEW YORK ELECTRONIC LAND SERVICES, INC. MANUFACTURERS & TRADERS TRUST COMPANY, ITS SUCCESSORS AND/OR ASSIGNS * (SEE NOTE ABOVE) * THE COUNTY OF WESTCHESTER WESTHAB, INC.		6-20-2007 YONKERS WESTCHESTER COUNTY JOB NO.: 07-57864

APPENDIX G
NOISE CALCULATION WORKSHEET

[Environmental Review Main \(/environmental-review/\)](#)

DNL Calculator

The Day/Night Noise Level Calculator is an electronic assessment tool that calculates the Day/Night Noise Level (DNL) from roadway and railway traffic. For more information on using the DNL calculator, view the Day/Night Noise Level Calculator Electronic Assessment Tool Overview (<https://onecpd.info/environmental-review/daynight-noise-level-electronic-assessment-tool/>).

Guidelines

- To display the Road and/or Rail DNL calculator(s), click on the "Add Road Source" and/or "Add Rail Source" button(s) below.
- All Road and Rail input values must be positive non-decimal numbers.
- All Road and/or Rail DNL value(s) must be calculated separately before calculating the Site DNL.
- All checkboxes that apply must be checked for vehicles and trains in the tables' headers.
- **Note #1:** Tooltips, containing field specific information, have been added in this tool and may be accessed by hovering over all the respective data fields (site identification, roadway and railway assessment, DNL calculation results, roadway and railway input variables) with the mouse.
- **Note #2:** DNL Calculator assumes roadway data is always entered.

DNL Calculator

Site ID Record Date User's Name Road # 1 Name: **Road #1**

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	<input type="text" value="200"/>	<input type="text" value="200"/>	<input type="text" value="200"/>
Distance to Stop Sign	<input type="text" value="180"/>	<input type="text" value="180"/>	<input type="text" value="180"/>
Average Speed	<input type="text" value="19"/>	<input type="text" value="19"/>	<input type="text" value="19"/>
Average Daily Trips (ADT)	<input type="text" value="6828"/>	<input type="text" value="971"/>	<input type="text" value="100"/>
Night Fraction of ADT	<input type="text" value="15"/>	<input type="text" value="15"/>	<input type="text" value="15"/>
Road Gradient (%)	<input type="text"/>	<input type="text"/>	<input type="text" value="1"/>
Vehicle DNL	<input type="text" value="44"/>	<input type="text" value="45.5"/>	<input type="text" value="57.8"/>

Airport Noise Level

Loud Impulse Sounds?

 Yes NoCombined DNL for all
Road and Rail sources

Combined DNL including Airport

Site DNL with Loud Impulse Sound

Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

- **No Action Alternative:** Cancel the project at this location
- **Other Reasonable Alternatives:** Choose an alternate site
- **Mitigation**
 - Contact your Field or Regional Environmental Officer (<https://www.onecpd.info/environmental-review/hud-environmental-staff-contacts/>)
 - Increase mitigation in the building walls (only effective if no outdoor, noise sensitive areas)
 - Reconfigure the site plan to increase the distance between the noise source and noise-sensitive uses
 - Incorporate natural or man-made barriers. See *The Noise Guidebook* (<https://www.onecpd.info/resource/313/hud-noise-guidebook/>)
 - Construct noise barrier. See the Barrier Performance Module (<https://onecpd.info/environmental-review/bpm-calculator/>)

Tools and Guidance

Day/Night Noise Level Assessment Tool User Guide (<https://www.onecpd.info/resource/3822/day-night-noise-level-assessment-tool-user-guide/>)

Day/Night Noise Level Assessment Tool Flowcharts (<https://www.onecpd.info/resource/3823/day-night-noise-level-assessment-tool-flowcharts/>)